



AGENDA

ROGERS PARK AND RECREATION ADVISORY COMMISSION

May 9, 2019 - 5:30 PM

The mission of the Parks and Recreation Advisory Commission is to enhance the lives of current and future generations of Roger's residents and contribute vision, leadership, and recommendations to the City Council for the best use and development of Rogers' parks, trails, recreation programming, and open spaces.

- 1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE**
- 2. OPEN FORUM**
- 3. PRESENTATIONS**
- 4. APPROVE AGENDA**
- 5. CONSENT AGENDA**
 - 5.1 Approval of March Minutes
- 6. GENERAL BUSINESS**
 - 6.1 Event Center
 - 6.2 Parks and Recreation Referendum
 - 6.3 2019 Work Plan
- 7. OTHER BUSINESS**
- 8. CORRESPONDENCE AND REPORTS**
 - 8.1 Correspondence
- 9. ADJOURN**



**REQUEST FOR ACTION
PARK BOARD**

Meeting Date: May 9, 2019

Agenda Item: No. 5.1

Subject: Approval of March Minutes

Prepared By: Mike Bauer Recreation and Facilities Director

Recommended Park Board Action

Approve March 2019 Meeting Minutes. No Meeting in April 2019.

ATTACHMENTS:

Description

March 13 2019 Minutes

1. CALL TO ORDER

The regular meeting of the Parks and Recreation Advisory Commission of the City of Rogers was called to order by Chair Fuller on Thursday, March 14, 2019, at 5:30 pm at Rogers Public Works, 22350 South Diamond Lake Road, Rogers, MN, 55374.

Roll Call

Dale Fuller	- Park Board Chair	
Paul Hacker	- Park Board Member	
Peggy Warfield	- Park Board Member	Left at 6:34 pm
Jennifer Thomas	- Park Board Member	Absent
Judi Volkers	- Park Board Member	
Gene Wipf	- Park Board Member	Absent
Brett Carlson	- Park Board Member	
Shannon Klick	- Rogers City Council	
John Seifert	- Public Works Director	
Mike Bauer	- Recreation and Facilities Director	
Marcy Dalchow	- Administrative Assistant	

2. OPEN FORUM: None

3. PRESENTATIONS: None

4. APPROVE AGENDA

Approval of March, 2019 Meeting Agenda Motion by Volkers, seconded by Carlson. Motion carried, 5-0.

5. CONSENT AGENDA

Approval of Consent Agenda Motion by Volkers, seconded by Warfield. Motion carried, 5-0.

5.1 Approval of February 2019 Minutes.

6. GENERAL BUSINESS

6.1 Approval of Names for the Wall of Honor at the Veteran's Memorial

Three applications were received for names of individuals to be added to the Veteran's Memorial Wall of Honor. Those applications were for Ernest Erickson, Dwight Erickson and Richard Fehn. Motion to approve Ernest Erickson, Dwight Erickson and Richard Fehn to be added to the Veteran's Memorial Wall of Honor by Carlson, seconded by Warfield. Motion carried 5-0.

Carlson questioned Staff if names for those after the Middle East Conflicts could be added to the wall. Yes, however, as of today, we have not received requests for this. We will need to determine where names from other wars are to be placed when received. In an effort to reduce costs, names are added to the wall once a year.

6.2 Parks and Recreation Referendum

Sports associations participated in a joint meeting with State Representatives to discuss likes and wants within their communities regarding community sports, trails and the pedestrian bridge over 94. Senator Limmer will support and introduce the tax bill which would provide funds for parks and recreation as well as the pedestrian bridge. Once this bill is introduced into the Senate, it would be beneficial to have a group from Rogers go to testify in support of the referendum. Senator Limmer's Assistant will keep Staff in the loop as to when we can go speak on the City's behalf.

6.3 Event Center Update

Submittals were received for the Construction Manager as Constructor from Terra Construction and RJM Construction for the Rogers Event Center. The CMC contract was awarded to Terra Construction. Terra Construction has completed several other projects within the City of Rogers, the Manager lives in Rogers and Terra presented a four-month construction plan vs. a five to six-month plan proposed by RJM. Next steps will be to obtain a guaranteed maximum price contract and to perform pre-bid services to establish

a set of project specific bid packages that would be approved for advertisement by the City Council in a future meeting. This will allow the project to stay within the project budget and time schedule of an assumed fall 2019 completion date.

There was additional discussion about funding for the Rogers Event Center. The majority of funds will come from Tower & Billboard Lease, Park Dedication and Lion's Park Funds. Billboard Lease revenues being a large part of the funding. Bonds, sponsorships and increased programming (i.e. concession sales) will supply the remaining portion of funds needed. The fund stream is positive for this project.

Terra Construction has offered the assistance of their graphics person to help the City of Rogers create a marketing piece to solicit sponsorship items for the Rogers Event Center from business in the City of Rogers. These sponsorship items will be in a price point range of \$50 to \$500. Donations will also be accepted.

6.4 RMS Tennis Courts JPA

ISD 728 has considered the adjustment of the JPA of the court space adjacent to NCP at the Rogers Middle School to the City and seems enthusiastic about it. Recreation and Facilities Director Bauer met with a contractor to get a quote for the repair and repurposing of the courts and expects to have an estimate soon.

There is some concern amongst the Commission about the duplication of services created by ISD 728 adding more tennis courts and the City maintaining the existing courts in a tennis/pickle ball capacity. Staff is not worried about saturating the City of tennis facilities or the lack of desire for these types of offerings.

Motion to utilize up to \$30,000.00 in Park Ded Funds to be used for the repair and repurposing of the RMS tennis courts adjacent to NCP at the Rogers Middle School by Hacker, seconded by Volkens. Motion carried 3-1.

6.5 2019 Work Plan

Staff reviewed the work plan.

6.6 High School Baseball Request

Rogers High School is installing a new scoreboard on the varsity field. This new scoreboard has been donated by and will be installed by Veit Companies. Rogers High School needs to have an electrician disconnect the power, and potentially move the feed. The Rogers High School has asked if the City of Rogers would cover the costs of the electrical disconnect and connection.

The existing scoreboard will be transplanted to another area for future use. We could explore boring a line to connect with that board as well.

These fields and scoreboards are also used for the City's Youth programs.

Motion to use Park Dedication Funds for electrical work necessary to connect the new scoreboard, not to exceed \$1,500 by Hacker, seconded by Carlson, Motion carried 4-0.

7. OTHER BUSINESS

It was determined we will hold the June, July and August Park Board Meetings at City Parks. Commission suggested we post these meetings on Facebook or in newsletters to invite residents to attend these meetings. Schedule as follow:

June 13, 2019	Edgewater Park
July 11, 2019	Shadow Woods Park
September 12, 2019	Lion's Central Park

8. CORRESPONDENCE AND REPORTS

Submitted.

8.1 Trail Plowing

Staff has received many thank you's and positive comments for keeping trails plowed of snow and available for use throughout the winter season.

8.2 ISD 728 Year in Review

It was noted 2018 Community Education billing to Rogers Recreation is the lowest compared to recent years. This is due to more efficiently run programming.

8.3 Staff Programming Update

Learn to Skate offerings are growing in popularity. Due to the harsh winter weather there were many re-schedules and cancellations for the senior activities.

9. ADJOURN

Motion to Adjourn 7:09 pm by Volkens, seconded by Hacker. Motion carried 4-0.



REQUEST FOR ACTION PARK BOARD

Meeting Date: May 9, 2019

Agenda Item: No. 6.1

Subject: Event Center

Prepared By: Mike Bauer Recreation and Facilities Director

Recommended Park Board Action

Pending discussion.

Overview / Background

The City of Rogers submitted an application, seeking Site Plan approval for a proposed park community building at Lions Central Park (Park), formerly Triangle Park, 21400 Rouillard Avenue (Subject Property). The 9,600 square foot building is the focal point of the adopted Master Plan for the Park.

The Site Plan application was received on March 19, 2019; additional information was provided on April 1, 2019. The 60-day statutory review period expires on June 24, 2019.

The Planning Commission reviewed the Site Plan at its April 16, 2019 meeting, recommending approval with the following six (6) conditions:

1. Revise the Site Plan to extend the sidewalk from the parking lot to the trail on the west side of the Subject Property, adjacent to the western entrance.
2. Revise the Site Plan to depict the location of a monument sign at the new western entrance into the Subject Property.
3. Revise the Site Plan to show the lighting plan for the trails and parking lot, including photometrics. Lighting types may be defined with the proposed streetscape plan.
4. Revise the parking plan for on-site parking lot to include one (1) accessible parking space and one (1) van accessible parking space as required by ADA.
5. Submit final, detailed architectural plans and elevations, including color elevation renderings, of the building to City Planning staff for review prior to application for building permit.
6. Revise the Landscape Plan regarding tree caliper sizes, changing them from 1.5 inches to 2.5 inches per City standards.

Site Plan documents have since been revised to address conditions 1, 2, 4 and 6; the final two (2) shall remain as conditions of approval.

ATTACHMENTS:

Description

Site Plans

Capital Workshop Power Point

EXISTING PLAN SYMBOLS

PROPERTY LINES/RIGHT-OF-WAY	
UTILITY EASEMENT	
TREE LINE	
SIGN	
DECIDUOUS TREE	
SHRUB	
CONIFEROUS TREE	

EXISTING UTILITY SYMBOLS

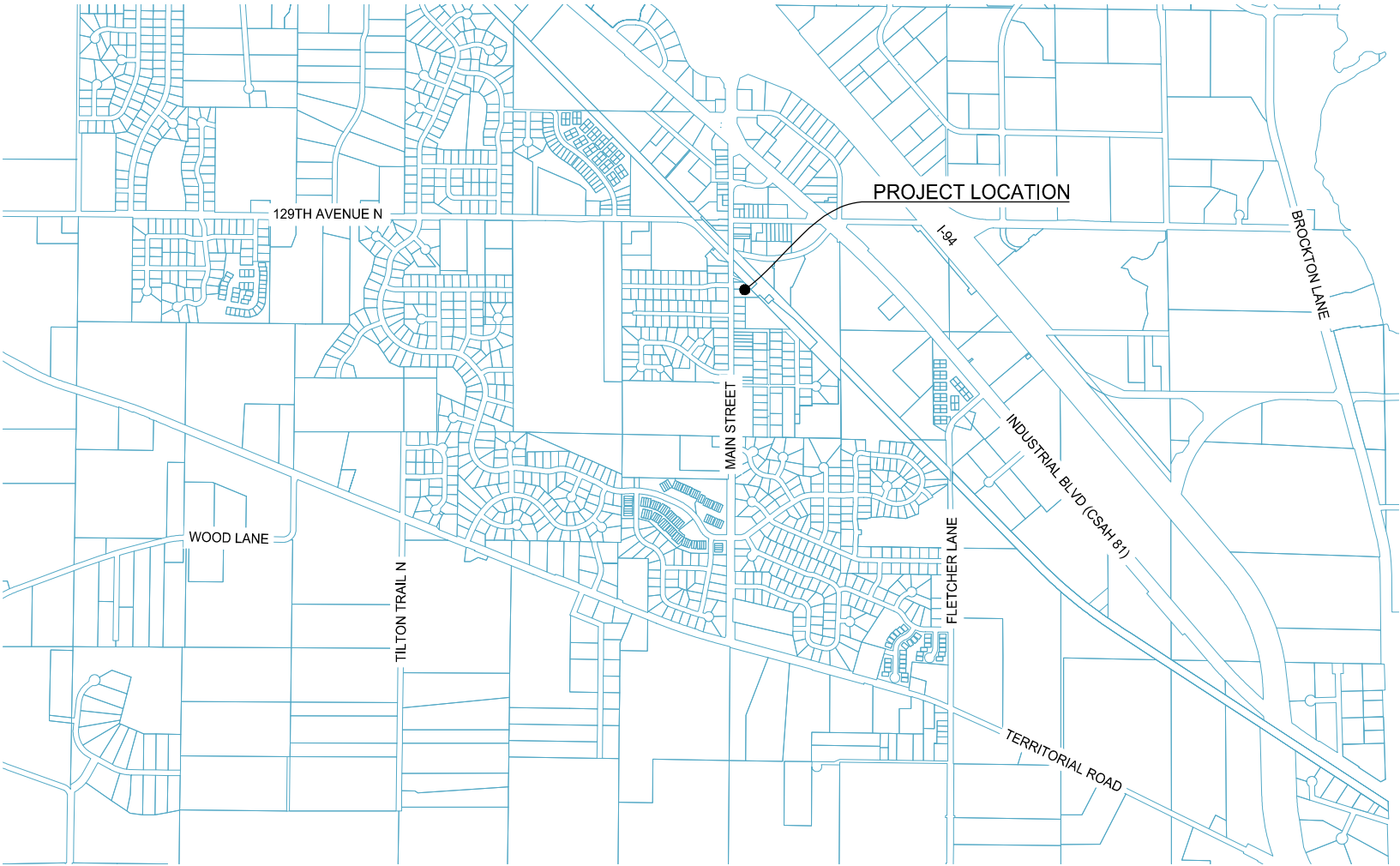
FIBER OPTIC CABLE	
UNDERGROUND TELEPHONE	
GAS LINE	
UNDERGROUND CABLE	
CABLE TV	
OVERHEAD COMMUNICATIONS LINE	
UNDERGROUND POWER	
OVERHEAD POWER	
UNDERGROUND ELECTRIC	
OVERHEAD TELEPHONE	
WATER MAIN	
SANITARY SEWER	
STORM SEWER	
CATV VAULT	
POWER POLE	
ELECTRIC BOX	
CATCH BASIN	
STORM APRON	
STORM SEWER MANHOLE	
GATE VALVE	
HYDRANT	
SANITARY SEWER MANHOLE	

2019 TRIANGLE PARK IMPROVEMENT PROJECT

CITY OF ROGERS

CONSTRUCTION PLAN FOR GRADING AND UTILITY CONSTRUCTION IMPROVEMENTS

LOCATED ON MAIN STREET FROM AHLSTROM ROAD TO MEMORIAL DRIVE



PROJECT LOCATION MAP

GOVERNING SPECIFICATIONS

THE 2018 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN.

ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

PLAN SET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS
3	DEMOLITION PLAN
4	SITE PLAN
5	GRADING AND EROSION CONTROL PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8-12	CONSTRUCTION DETAILS



THIS PLAN SET CONTAINS 12 SHEETS

THIS PLAN SET HAS BEEN PREPARED FOR:

CITY OF ROGERS
22350 SOUTH DIAMOND LAKE ROAD
ROGERS, MN 55374
(763) 428-2253

ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN J. BOURASSA, P.E.

DATE: 03/29/2019 LICENSE NUMBER: XXXXX

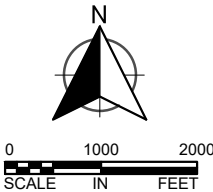
EXCAVATION NOTICE SYSTEM

A CALL TO GOPHER STATE ONE (651-454-0002) IS REQUIRED A MINIMUM OF 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION.

UTILITY INFORMATION

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

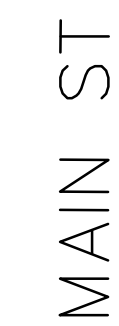
GOPHER ONE CALL TICKET NUMBER:



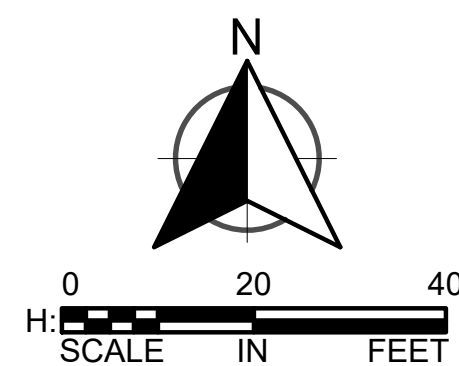
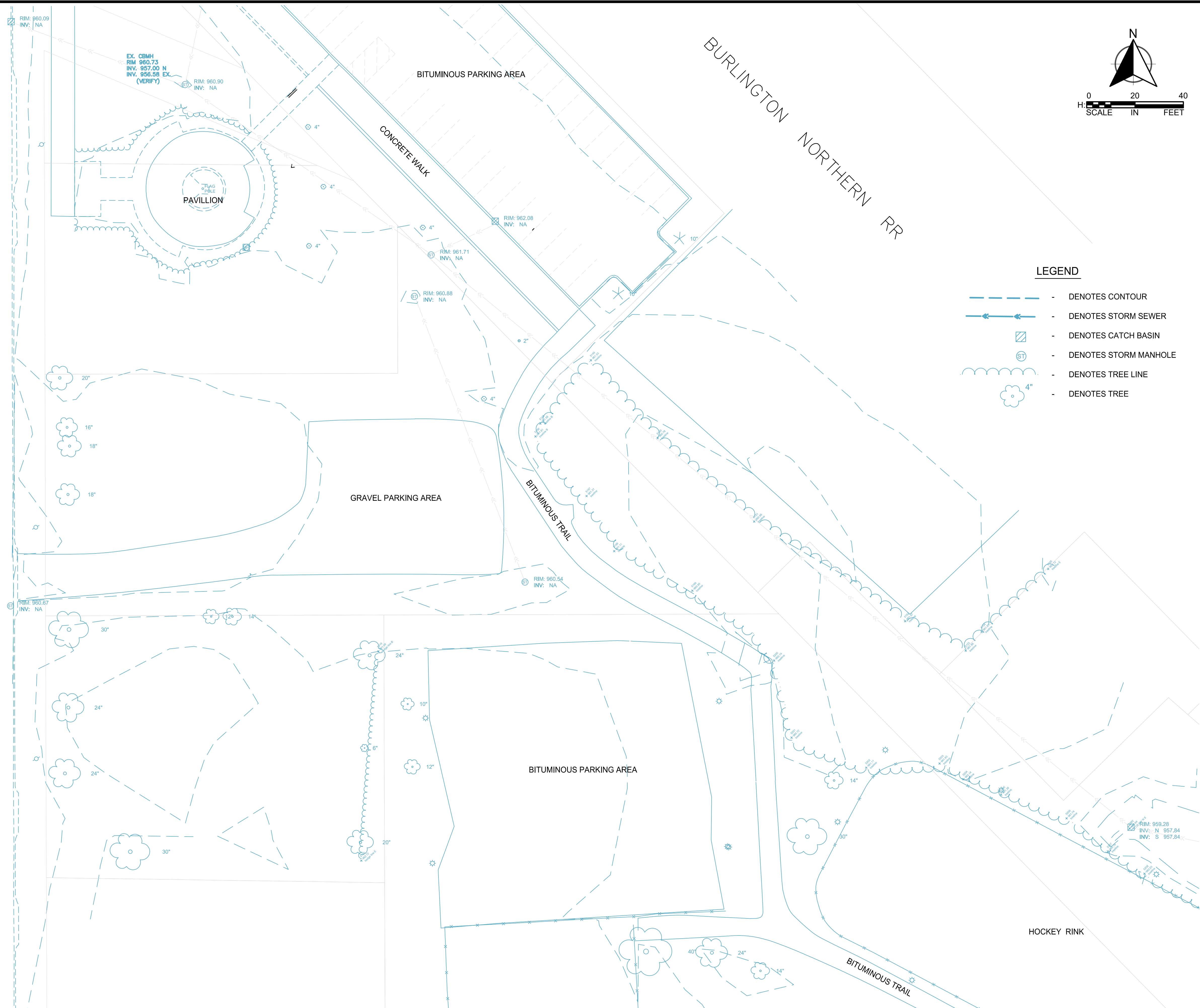
PLAN REVISIONS		
DATE	SHEET NO.	APPROVED BY

WSB PROJ. NO. 013674-000

SHEET
1
OF
12



(HCSAH NO 150)



wsb

WSB PROJECT NO.:
13674-000

SCALE: AS SHOWN
PLAN BY: EY
DESIGN BY: EY
CHECK BY: JDE

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HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION,
OR REPORT WAS PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA.

BRIAN J. BOURASSA

DATE: 04/03/2019 LIC. NO: 21816

2019 TRIANGLE PARK
IMPROVEMENT PROJECT

CITY OF ROGERS, MN

EXISTING CONDITIONS

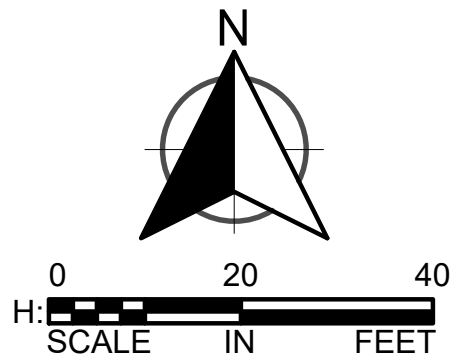
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MAIN ST

BURLINGTON NORTHERN RR



WSB PROJECT NO.:
13674-000

SCALE: AS SHOWN
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PLAN BY: EY
CHECK BY: JDE

REVISIONS	
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 04/03/2019
LIC. NO: 21816
BRIAN J. BOURASSA

2019 TRIANGLE PARK
IMPROVEMENT PROJECT
CITY OF ROGERS, MN

DEMOLITION PLAN

SHEET
3
OF
12

LEGEND

- DENOTES CONTOUR
- DENOTES STORM SEWER
- DENOTES CATCH BASIN
- DENOTES STORM MANHOLE
- DENOTES TREE LINE
- DENOTES TREE

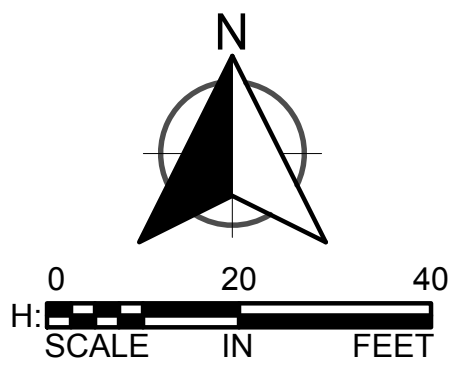
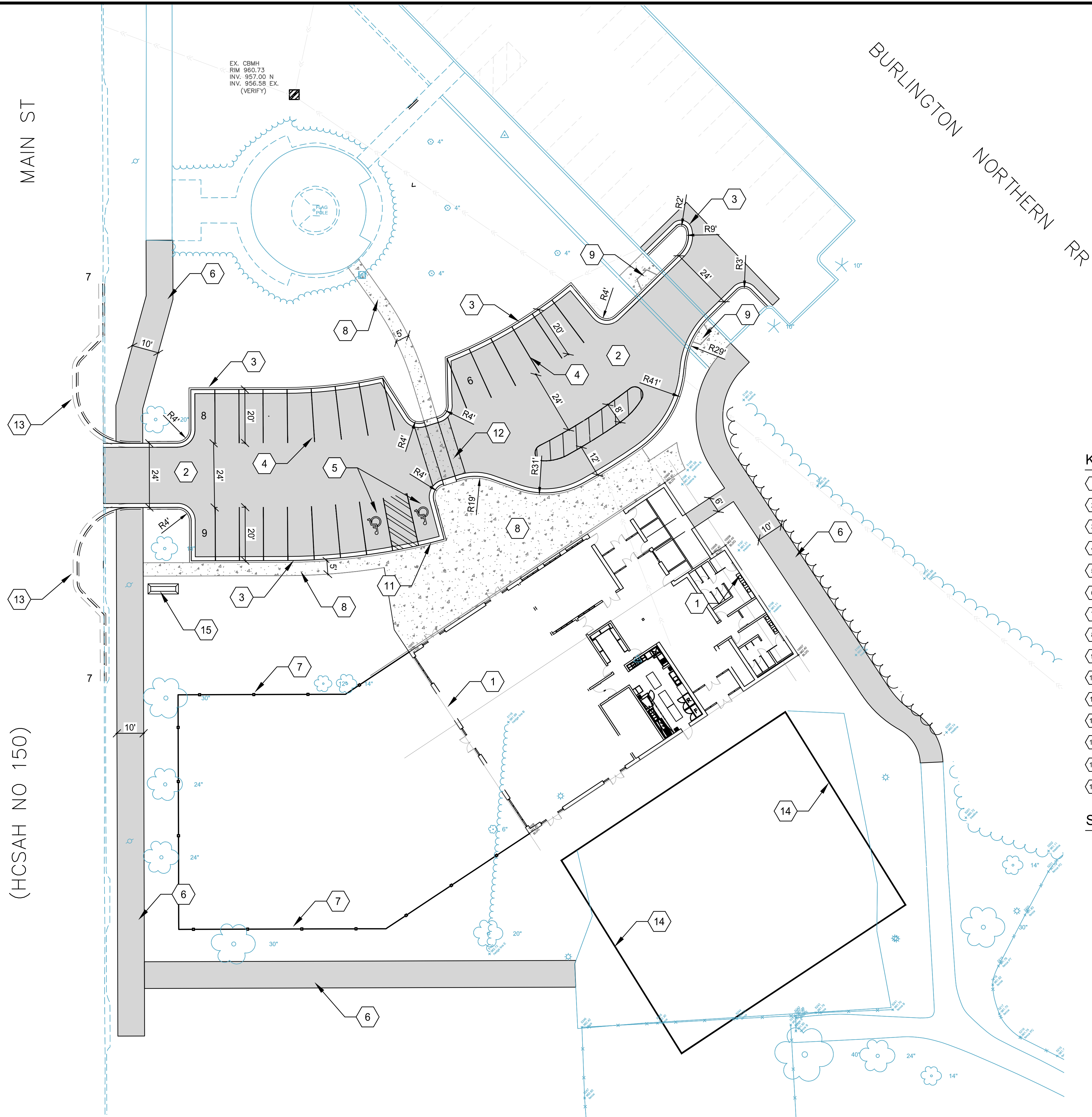
KEYNOTES

- 1 REMOVE BITUMINOUS PAVEMENT
- 2 REMOVE CONCRETE SIDEWALK
- 3 REMOVE CONCRETE CURB AND GUTTER
- 4 REMOVE GRAVEL PARKING AREA
- 5 REMOVE STORM SEWER
- 6 REMOVE TREE / TREE LINE

SITE NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF EXISTING UTILITY LOCATES. ALL UTILITIES MUST BE LOCATED PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL CONFIRM ALL REMOVAL ITEMS AND LIMITS WITH THE ENGINEER PRIOR TO DEMOLITION.
- STRAIGHT LINE CUT, FULL DEPTH REQUIRED FOR ALL PAVEMENT AND CURB REMOVAL.
- ALL ITEMS AND MATERIAL REMOVED BECOME THE PROPERTY OF THE CONTRACTOR.

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LEGEND

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT

KEYNOTES

- NEW PARK BUILDING. (REFER TO ARCHITECTURAL PLANS)
- ASPHALT PAVEMENT. (SEE DETAIL)
- B618 CONCRETE CURB AND GUTTER, TYPICAL. (SEE DETAIL)
- PARKING STRIPE, 4" WIDE, WHITE; TYPICAL.
- ACCESSIBLE PARKING STALL WITH SIGNAGE. (SEE DETAIL)
- FUTURE BITUMINOUS TRAIL
- FUTURE FENCE
- CONCRETE SIDEWALK. (SEE DETAIL)
- PEDESTRIAN RAMP WITH TRUNCATED DOMES
- 2' CURB TRANSITION. (SEE DETAIL)
- PIPE BOLLARD. (SEE DETAIL 7/CS503)
- ELEVATED CONCRETE PEDESTRIAN CROSSING (SEE DETAIL)
- FUTURE CURB AND GUTTER (COORDINATE WITH MAIN ST. PROJECT)
- FUTURE GREEN SPACE AREA
- MONUMENT SIGN

SITE NOTES

- REFER TO ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, STOOP AND RAMP LOCATIONS.
- THE CONTRACTOR SHALL CONSTRUCT ALL PAVEMENTS TO CONFORM WITH THE CORRECT LINES AND FINISHED GRADES AS INDICATED ON THE PLANS AND TO MATCH EXISTING PAVEMENT GRADES AT TIE-IN POINTS. NO PONDING OF WATER WILL BE ALLOWED.
- SAW ALL CONCRETE CONSTRUCTION JOINTS, CLEAN THEM OF DEBRIS, BLOW THEM DRY AND IMMEDIATELY SEAL WITH JOINT SEALANT.
- REINFORCE ODD SHAPED PAVING PANEL WITH #3 BARS AT 24" EACH WAY, AND ODD SHAPED PANEL IS CONSIDERED TO BE ONE IN WHICH THE SLAB TAPERS TO A SHARP ANGLE WHEN THE LENGTH TO WIDTH RATION EXCEEDS 3 TO 1 OR WHEN A SLAB IS NEITHER SQUARE NOR RECTANGULAR.
- REFER TO GRADING AND DRAINAGE PLANS FOR TOPOGRAPHIC INFORMATION AND STORM WATER DESIGN DETAILS.
- DIMENSIONS ARE TO EDGE OF PAVEMENT, CURB GUTTER-LINE, OUTSIDE FACE OF BUILDING, OR EDGE OF WALK UNLESS OTHERWISE NOTED.



WSB PROJECT NO.:
13674-000

SCALE: AS SHOWN
DESIGN BY: EY
PLAN BY: EY
CHECK BY: JDE

REVISIONS			
NO.	DATE	DESCRIPTION	CITY PC REVIEW COMMENTS
1	04/17/19		

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRIAN J. BOURASSA
DATE: 04/03/2019 LIC. NO: 21816

2019 TRIANGLE PARK
IMPROVEMENT PROJECT
CITY OF ROGERS, MN

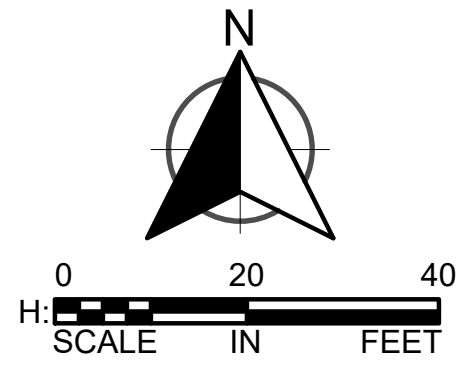
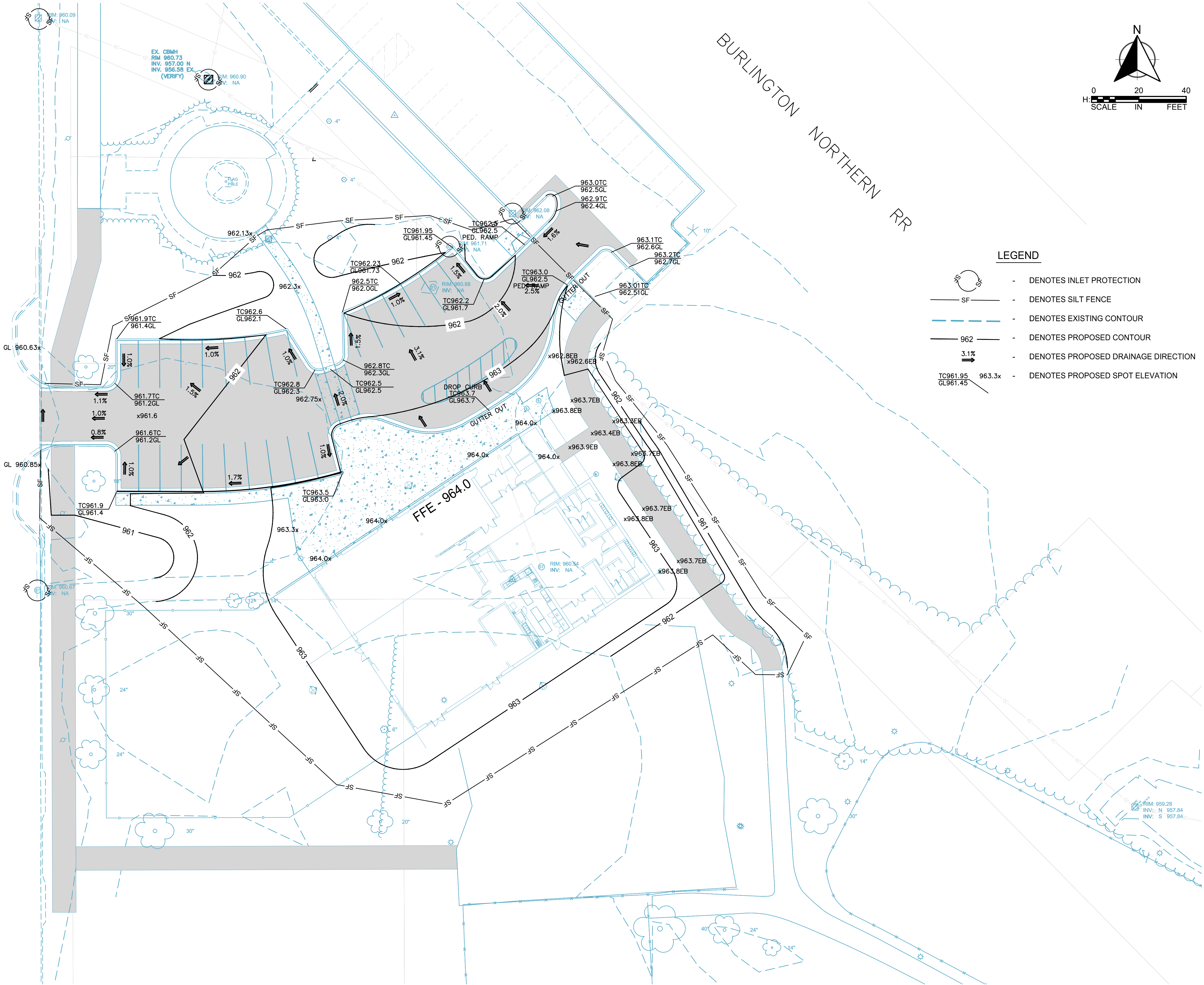
SITE PLAN

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MAIN ST



LEGEND

-  - DENOTES INLET PROTECTION
-  - DENOTES SILT FENCE
-  - DENOTES EXISTING CONTOUR
-  - DENOTES PROPOSED CONTOUR
-  - DENOTES PROPOSED DRAINAGE DIRECTION
-  - DENOTES PROPOSED SPOT ELEVATION



WSB PROJECT NO.:
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BRIAN J. BOURASSA

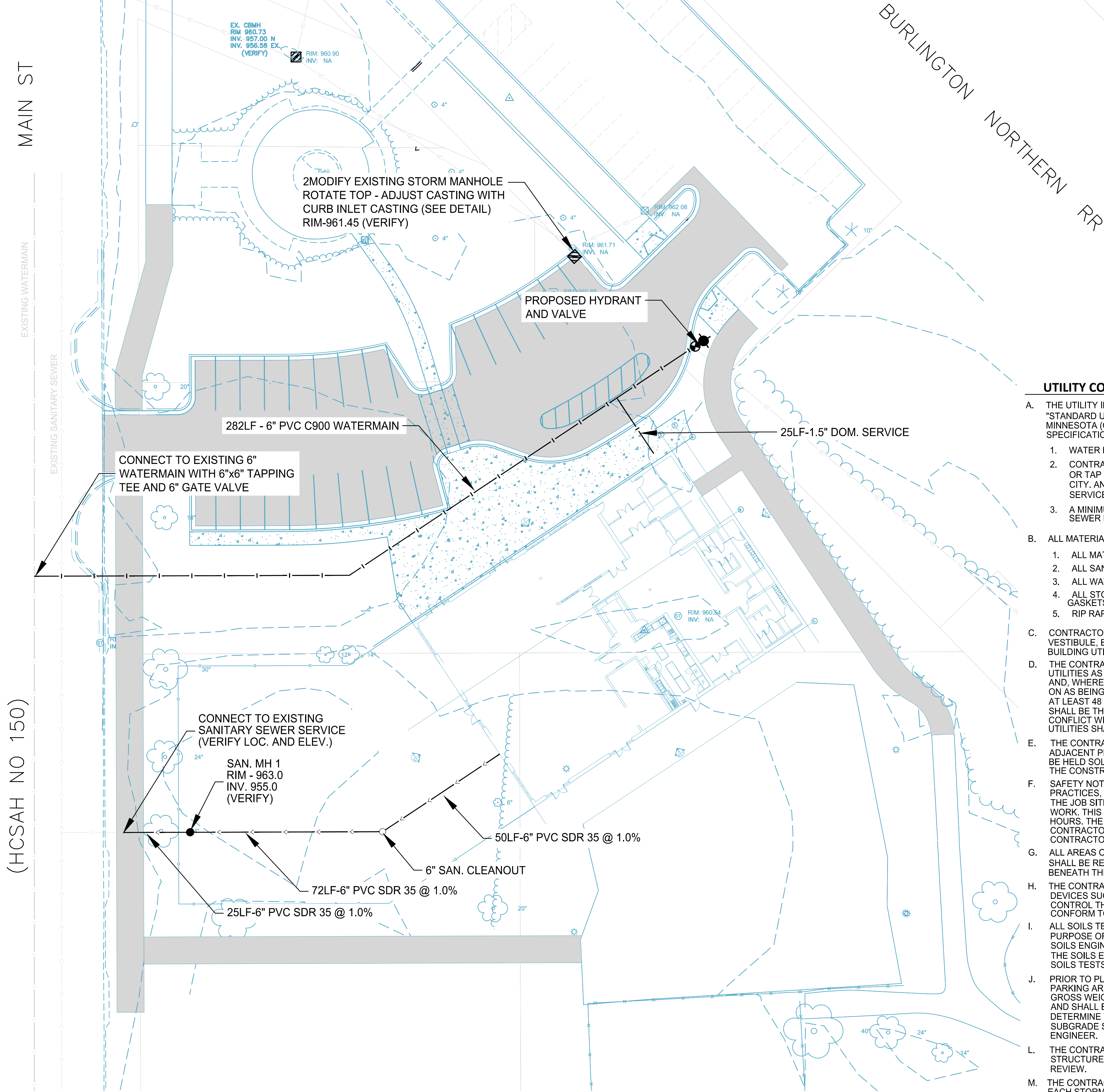
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2019 TRIANGLE PARK
IMPROVEMENT PROJECT
CITY OF ROGERS, MN

GRADING AND
EROSION CONTROL
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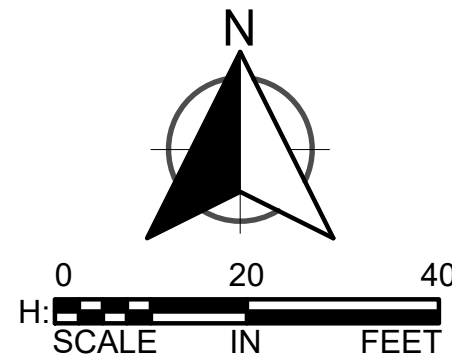


LEGEND

- <— DENOTES PROPOSED SANITARY SEWER
- DENOTES PROPOSED MANHOLE
- |— DENOTES PROPOSED WATERMAIN
- DENOTES PROPOSED HYDRANT

UTILITY CONSTRUCTION NOTES

- THE UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), EXCEPT AS MODIFIED HEREIN. CONTRACTOR SHALL OBTAIN A COPY OF THESE SPECIFICATIONS.
 - WATER MAIN SHALL BE INSTALLED AT A MINIMUM DEPTH OF 7.5 FEET OF COVER.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF THE CONTRACTOR
 - A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
- ALL MATERIALS SHALL BE AS SPECIFIED IN CEAM SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.
 - ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE SPECIFICATIONS.
 - ALL SANITARY SEWER TO BE PVC SDR-35, UNLESS NOTED OTHERWISE.
 - ALL WATERMAIN TO BE PVC C-900 AND DUCTILE IRON - CLASS 52 AS NOTED.
 - ALL STORM SEWER PIPE TO BE REINFORCED CONCRETE PIPE WITH R-4 JOINTS, AND RUBBER GASKETS.
 - RIP RAP SHALL BE Mn/DOT CLASS 3.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE LOCATIONS OF SMALL UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR, BY CALLING GOPHER STATE ONE CALL AT 454-0002.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL AREAS OUTSIDE THE PROPERTY BOUNDARIES THAT ARE DISTURBED BY UTILITY CONSTRUCTION SHALL BE RESTORED IN KIND. SODDED AREAS SHALL BE RESTORED WITH 6 INCHES OF TOPSOIL PLACED BENEATH THE SOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL SOILS TESTING SHALL BE COMPLETED BY AN INDEPENDENT SOILS ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. THE UTILITY BACKFILL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND SOIL INSPECTIONS WITH THE SOILS ENGINEER.
- PRIOR TO PLACEMENT OF AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
- THE CONTRACTOR SHALL SUBMIT PDF COPIES OF SHOP DRAWINGS FOR MANHOLE AND CATCH BASIN STRUCTURES FOR APPROVAL. CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR SHOP DRAWING REVIEW.
- THE CONTRACTOR AND THEIR SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.



WSB PROJECT NO.:
13674-000

SCALE: AS SHOWN
DESIGN BY: EY
PLAN BY: EY
CHECK BY: JDE

REVISIONS

NO.	DATE	DESCRIPTION

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BRIAN J. BOURASSA

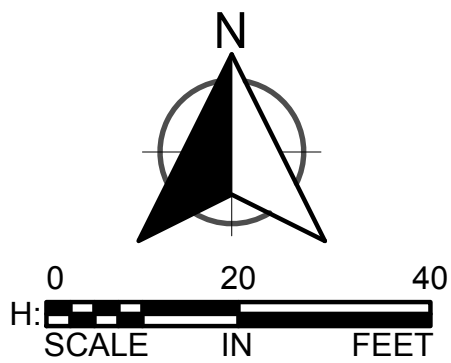
DATE: 04/03/2019 LIC. NO: 21816

2019 TRIANGLE PARK
IMPROVEMENT PROJECT
CITY OF ROGERS, MN

UTILITY PLAN

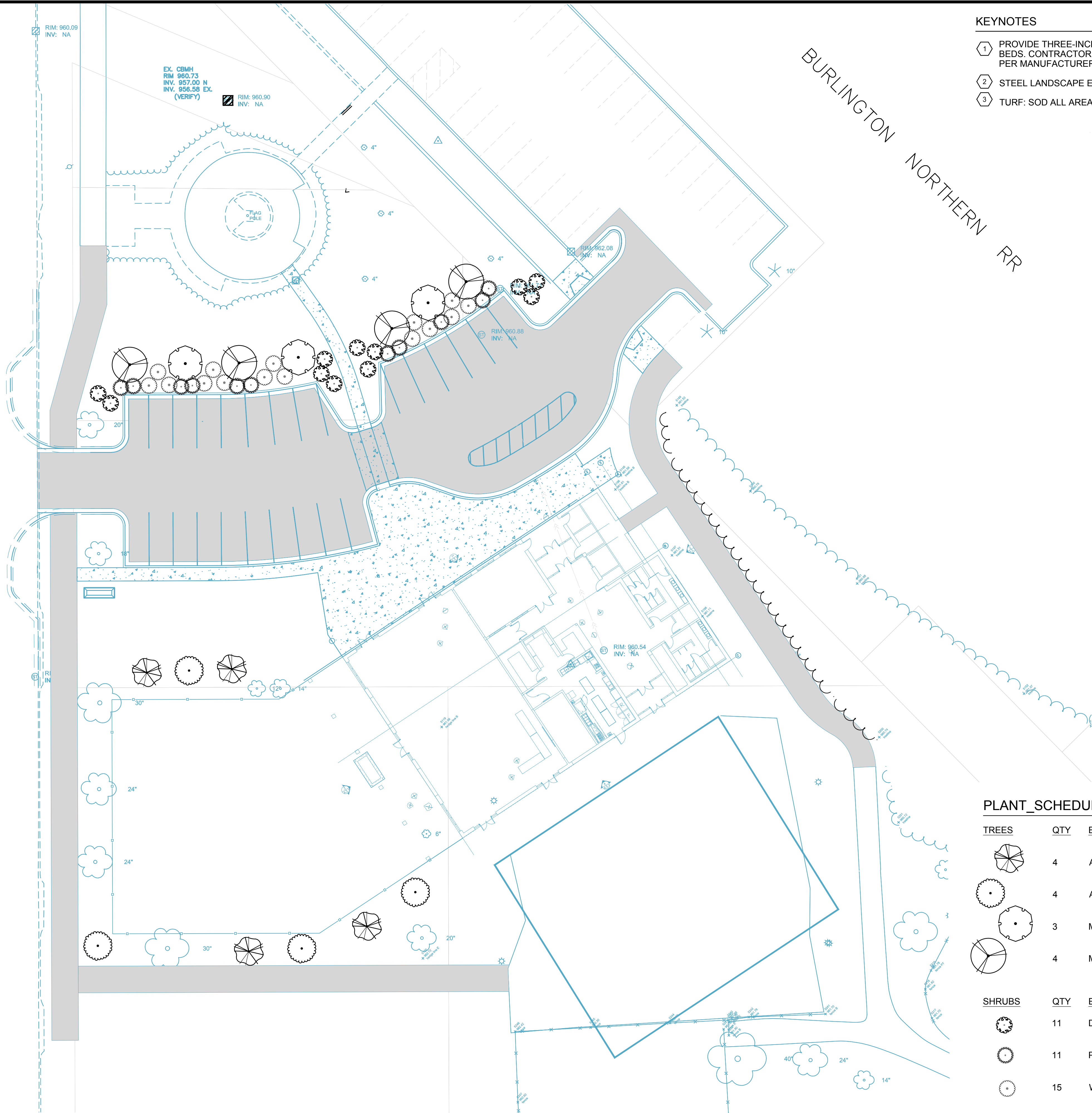
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(HCSAH NO 150)

MAIN ST



KEYNOTES

- 1

PROVIDE THREE-INCH (3") DEPTH DOUBLE SHREDDED HARDWOOD MULCH IN ALL PLANTING BEDS. CONTRACTOR TO PROVIDE GRANULAR WEED PREVENTION IN SHREDDED MULCH BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- 2

STEEL LANDSCAPE EDGING. COLOR: BLACK.
- 3

TURF: SOD ALL AREAS NOT PAVED OR BLANKETED WITH EROSION CONTROL MEASURES

GENERAL LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO BECOME FAMILIAR WITH SITE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DIGGING. THE LANDSCAPE CONTRACTOR SHALL COORDINATE INSTALLATION WITH GENERAL CONTRACTOR.
2. ALL PLANTING BED SHALL BE PREPARED IN THE FOLLOWING MANNER:

• REMOVE EXISTING VEGETATION, ESPECIALLY GROUNDCOVER

• TILL TO A DEPTH OF 12 INCHES AND INCORPORATE FERTILIZER

• INSTALL EDGING WHERE APPLICABLE

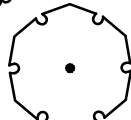
• REMOVE ALL ROCKS AND DEBRIS

• INSTALL PLANTS PER PLANTING DETAIL AND SPECIFICATIONS
3. ALL PLANT MATERIALS SHALL CONFORM WITH THE MOST RECENT ADDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60) AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE, AND DISFIGURATION.
4. ALL PLANT MATERIAL SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
5. ALL TURF AND PLANTING AREAS SHALL BE TILLED TO A DEPTH OF 12 INCHES.
6. LANDSCAPE CONTRACTOR IS TO COORDINATE WITH GENERAL TO ENSURE DESIGN GRADES ARE MET AS SPECIFIED ON THE GRADING PLAN(S).
7. THE LANDSCAPE CONTRACTOR IS TO FOLLOW ALL LANDSCAPE DETAILS AS SHOWN UNLESS OTHERWISE NOTED ON PLANS.

SITE RESTORATION

1. ALL DISTURBED AREAS WITHIN CONSTRUCTION LIMITS THAT ARE NOT HARD SURFACED, OR INDICATED AS SOD, SHALL BE HYDROSEEDDED WITHIN 14 DAYS OF FINISHED GRADING OPERATIONS, IN ACCORDANCE WITH THE PLAN AND SPECIFICATIONS FOR PERMANENT COVER.
2. ALL AREAS OUTSIDE OF CONSTRUCTION LIMITS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE HYDROSEEDDED BY THE CONTRACTOR, AT CONTRACTOR'S EXPENSE.
3. REUSE SITE TOPSOIL FOR ALL PLANTING, SOD, AND SEEDDED AREAS, MIN. 6" DEPTH.
4. FOR SEEDING METHODS, PLEASE REFER TO "ESTABLISHING NON-NATIVE SEED MIXTURES - SEEDING METHODS" IN THE MNDOT SEEDING MANUAL 2014 EDITION.

PLANT_SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT
	4	Acer x freemanii 'Sienna' / Sienna Glen Maple	2.5" Cal B&B
	4	Amelanchier canadensis ``Trazam` / Tradition Serviceberry	2.5" Cal B&B
	3	Malus floribunda 'Louisa' / Flowering Crabapple	4' Height
	4	Maul 'Royal Raindrops' / Royal Raindrops Flowering Crab	4' Height
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE
	11	Dark Horse Weigela / Weigela florida 'Dark Horse'	3 gal
	11	Potentilla fruticosa 'Pink Beauty' / Pink Beauty Potentilla	3 gal
	15	Weigela florida 'Bokraspiwi' / Spilled Wine Weigela	3 gal



WSB PROJECT NO.:
13674-000

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DESIGN BY: EY
PLAN BY: EY
CHECK BY: JDE

REVISIONS

NO.	DATE	DESCRIPTION	CITY PC REVIEW COMMENTS
1	04/17/19		

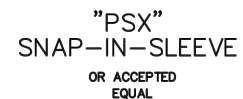
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LIC. NO: 21816
BRIAN J. BOURASSA

2019 TRIANGLE PARK
IMPROVEMENT PROJECT
CITY OF ROGERS, MN

LANDSCAPE PLAN

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Standard Details	
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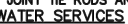
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Revised	



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Revised	



Standard Details	
Date: JANUARY 2014	WAT-03
Revised:	



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|  | <p style="text-align: center;">WATER MAIN
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Revised	



Standard Details	
Date January 2014	WAT-05
Revised	

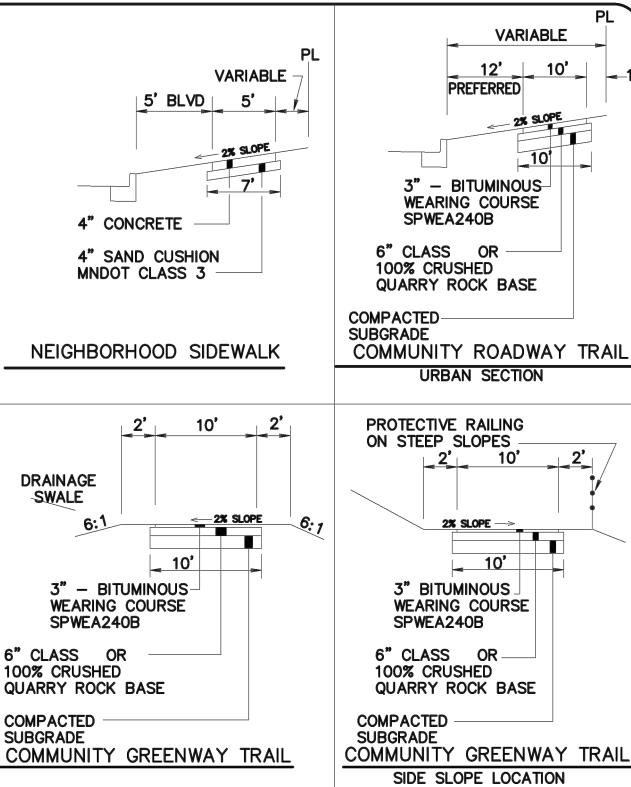
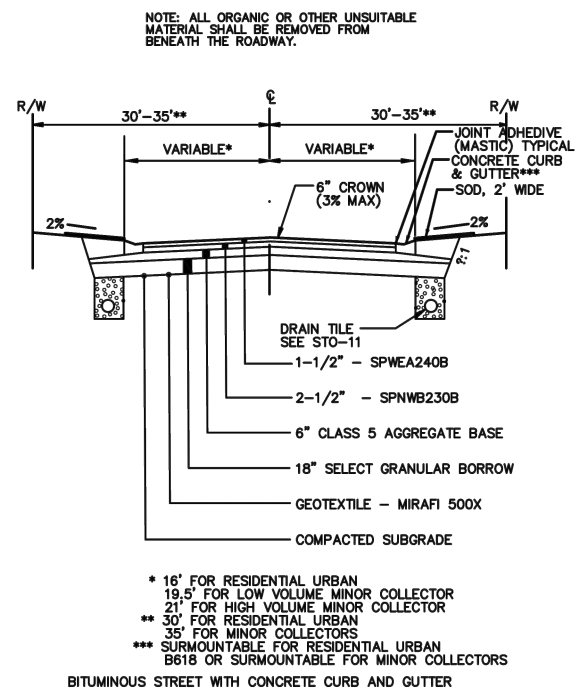
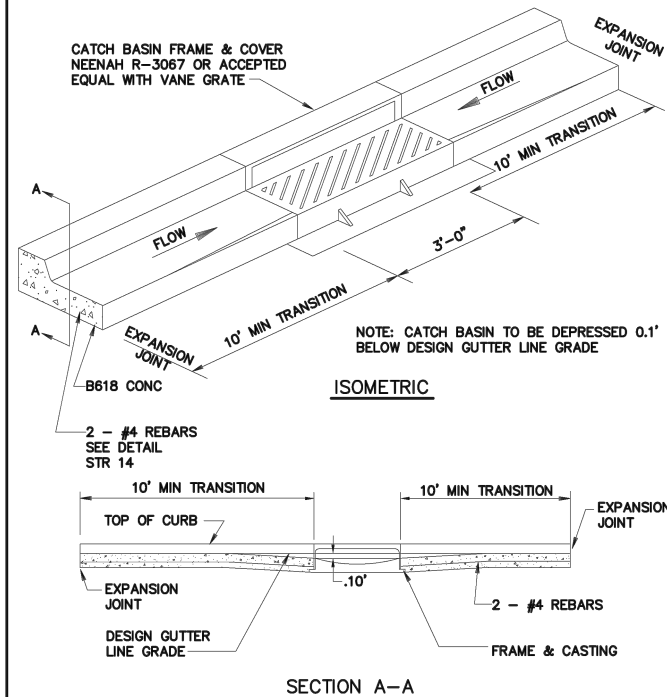
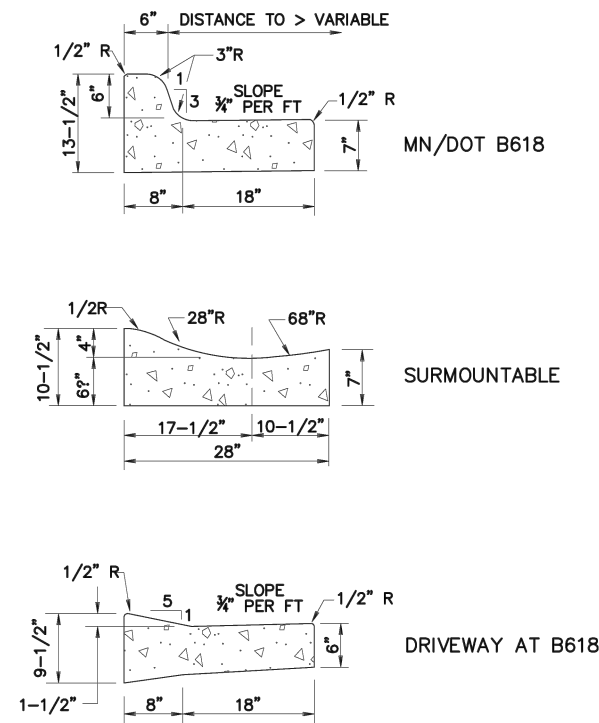
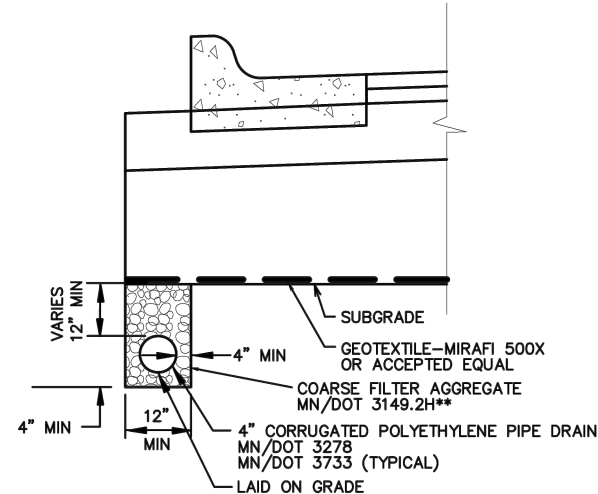
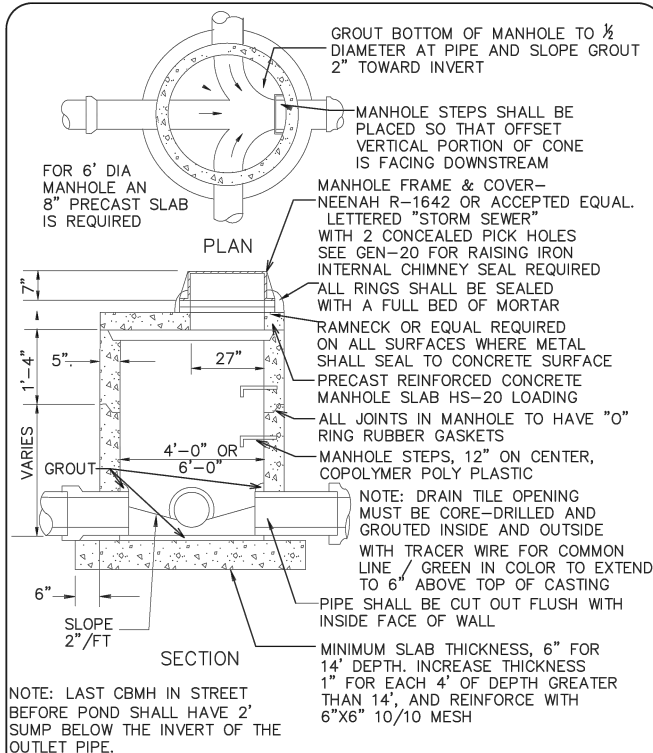
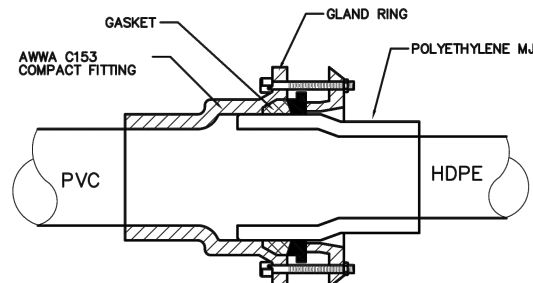


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Revised	



Standard Details	
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- NOTES:
- TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA), ALL STATE AND LOCAL AGENCIES ARE REQUIRED TO COMPLY WITH THIS STANDARD PLATE.
- THE CURB AND CURB TRANSITION ON THE RAMP WILL BE PAID FOR AS LINEAR FEET OF CONCRETE CURB OR CONCRETE CURB AND GUTTER. THE RAMP AREA WILL BE PAID FOR AS CONCRETE WALK EXCLUDING THE TRUNCATED DOME AREA WHICH WILL BE PAID FOR AS TRUNCATED DOMES BY THE SQUARE FOOT. BIKE TRAILS SHALL HAVE TRUNCATED DOMES ACROSS THE ENTIRE WIDTH OF TRAIL WHEN THE TRAIL CROSSES A ROAD. DOMES ARE NOT TO BE USED ON SIDEWALKS OR TRAILS WHEN CROSSING ALLEYS OR DRIVEWAYS.
- 1/2" PREFORMED JOINT FILLER MATERIAL, AASHTO M 213.
 - WHEN POSSIBLE, PROVIDE A CLEAR PATH OF TRAVEL 4'-0" WIDE BEHIND THE PEDESTRIAN RAMP. A RELATIVELY FLAT 4' X 4' LANDING WILL ALLOW WHEELCHAIRS TO NAVIGATE AROUND THE PEDESTRIAN RAMP. NO SIGNALS, SIGNS, CABINETS, OR OTHER OBSTRUCTIONS ARE ALLOWED IN THE RAMP OR PATH OF TRAVEL.
 - WHEN A MEDIAN IS NOT WIDE ENOUGH FOR TWO PEDESTRIAN RAMPS AND A 48" LANDING BETWEEN THEM, THE PEDESTRIAN CROSSING SHALL BE CUT THROUGH THE MEDIAN AT STREET LEVEL.
 - PLACE THE DETECTABLE WARNINGS (TRUNCATED DOMES) AT THE BACK OF CURB. WHEN THE DETECTABLE WARNING SYSTEM IS A PRECAST MATERIAL, THE CURB SHALL BE HAND FORMED TO FILL THE GAP.
 - ADA TRUNCATED DOME AREA SHALL BE 2'-0" MIN. IN DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP. THIS 2'-0" BY 3'-0" OR 4'-0" WIDTH (TYP.) TRUNCATED DOME AREA SHALL CONTRAST VISUALLY WITH THE ADJACENT WALKING SURFACE. THE ENTIRE TRUNCATED DOME AREA SHALL BE A LIGHT GRAY COLOR WHEN THE ADJACENT SIDEWALK IS A DARK COLOR. THE ENTIRE TRUNCATED DOME AREA SHALL BE A DARK GRAY COLOR WHEN THE ADJACENT SIDEWALK IS A LIGHT GRAY CEMENT COLOR.
 - 4'-0" MIN. FOR NEW CONSTRUCTION. 3'-0" ALLOWED TO STAY IN PLACE FOR RETROFIT PROJECTS. IN SITUATIONS WHERE THE CURB CUT WIDTH EXCEEDS 4'-0", THE DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH.
 - REFER TO MNDOT STANDARD PLATE 7036F
 - REFER TO DETAIL STR 15A FOR DRAWINGS

REVISIONS

NO.	DATE	DESCRIPTION

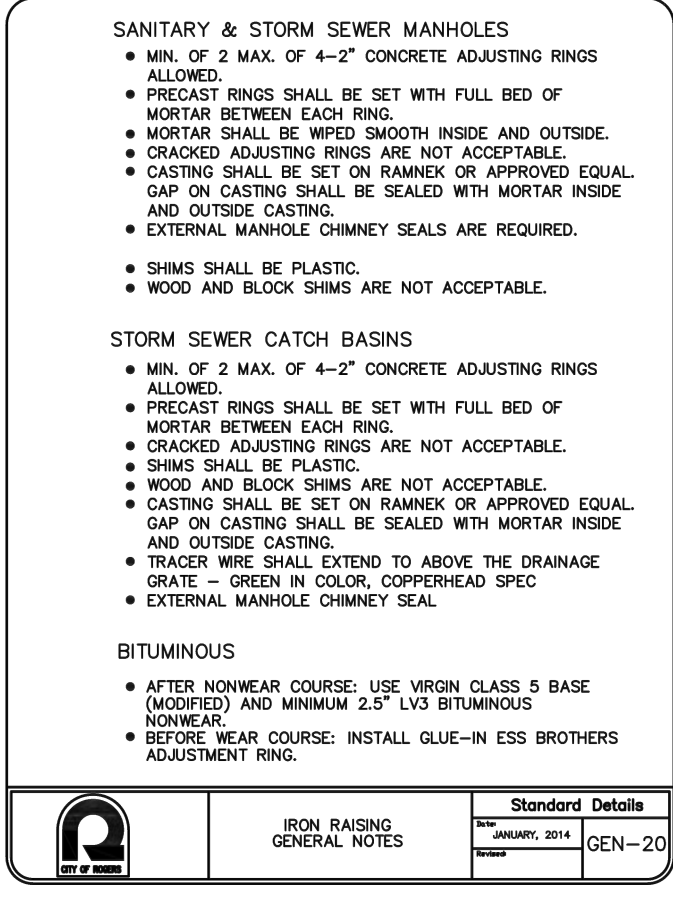
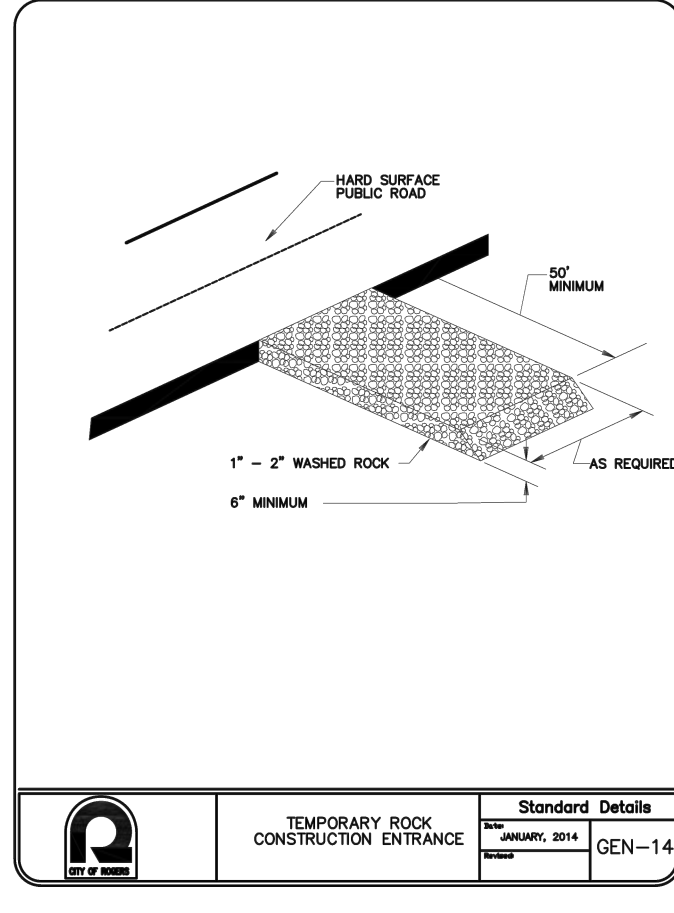
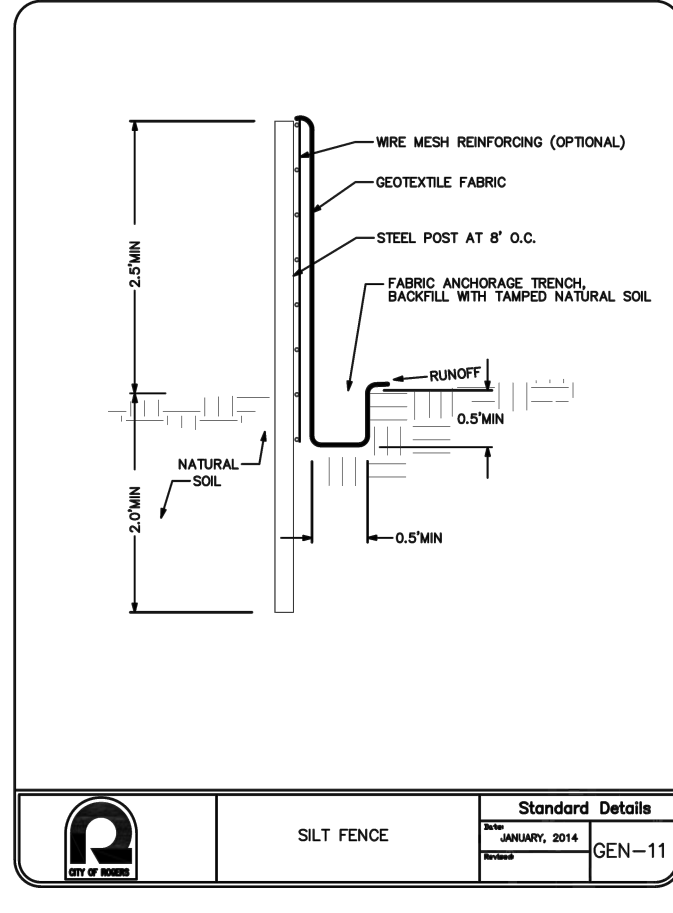
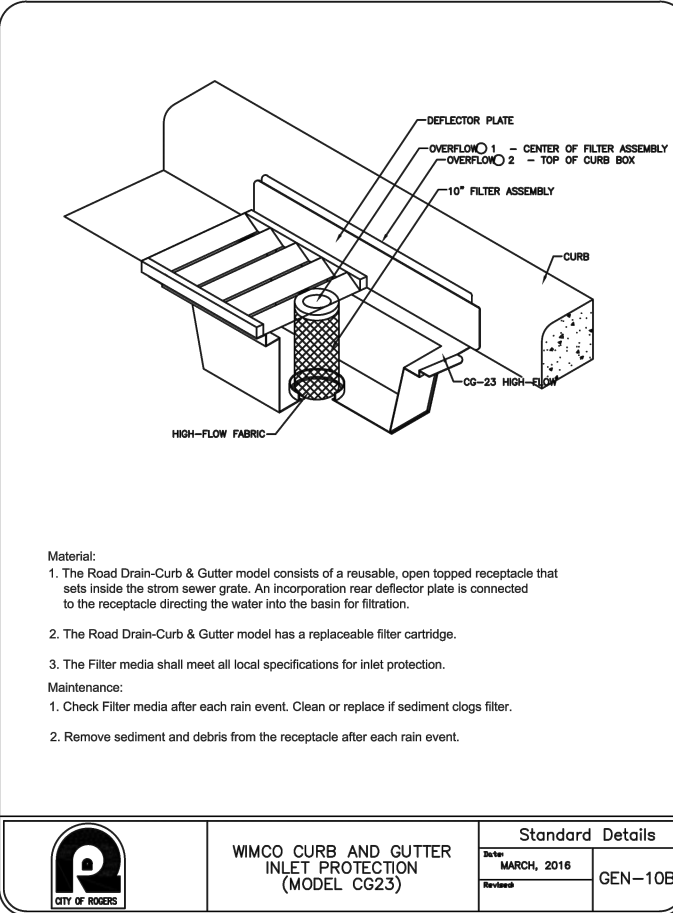
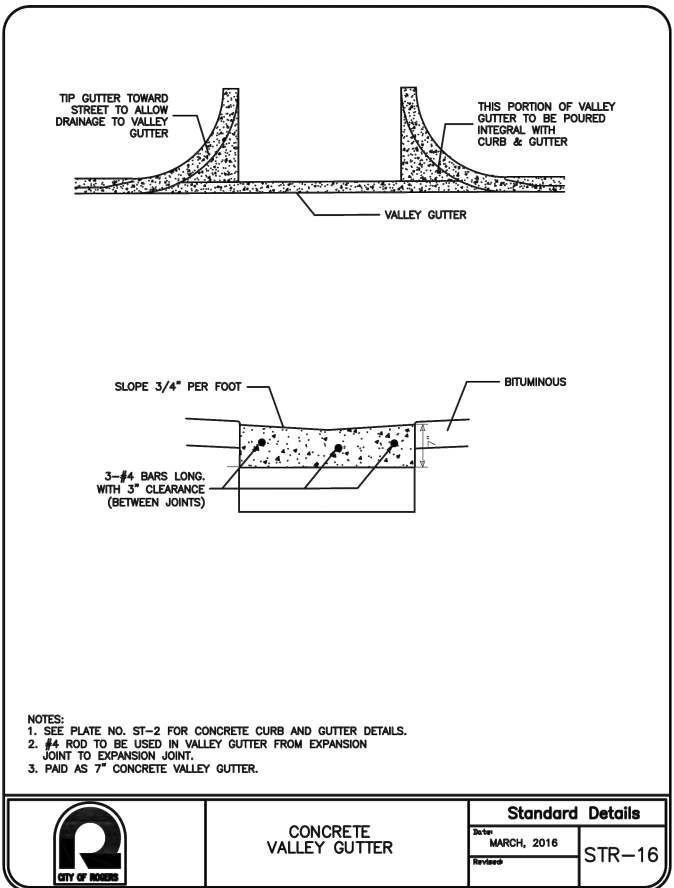
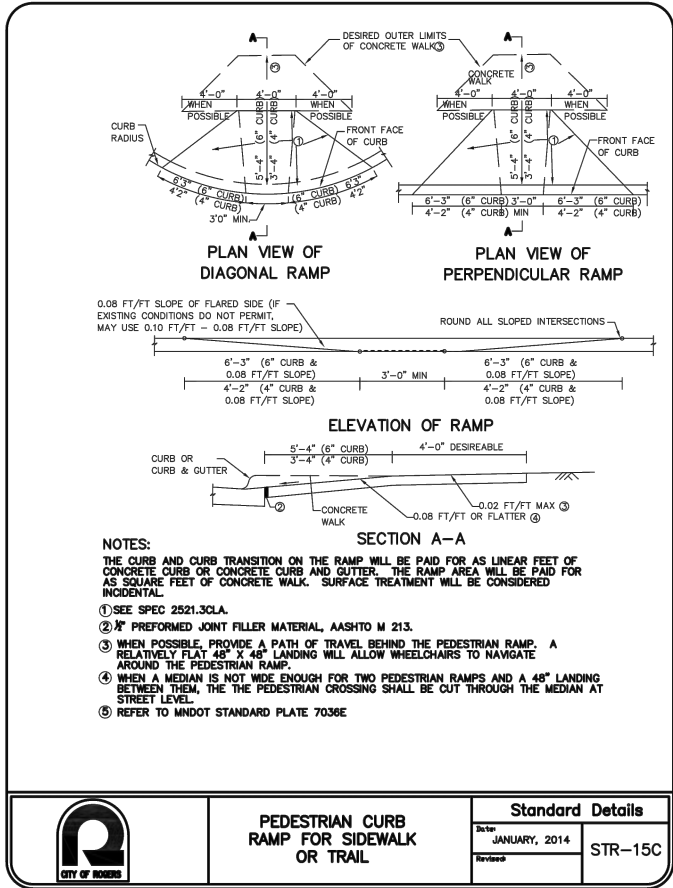
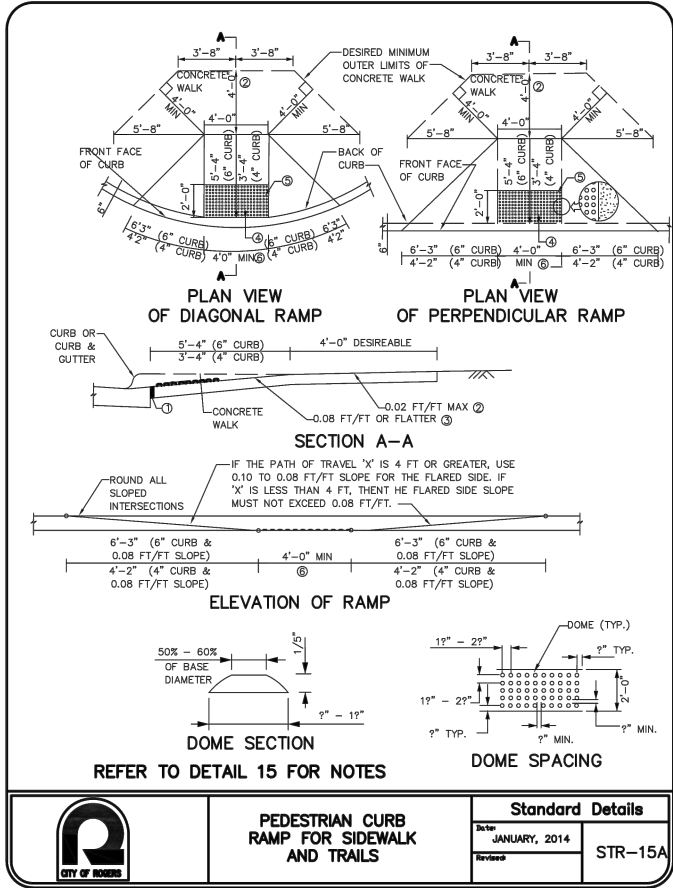
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BRIAN J. BOURASSA
DATE: 04/03/2019 LIC. NO.: 21816

2019 TRIANGLE PARK
IMPROVEMENT PROJECT
CITY OF ROGERS, MN

CONSTRUCTION
DETAILS

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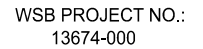
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CITY OF ROGERS, MN

CONSTRUCTION
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CITY OF ROGERS, MN

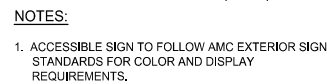
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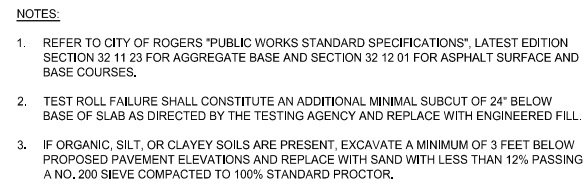


RIBBON CURB

1 SPECIALTY CURB
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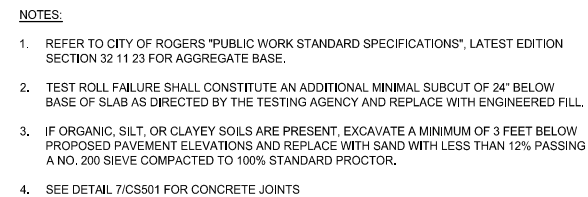


4 ACCESSIBLE SIGNAGE
CS502 SCALE: NO SCALE



1 ASPHALT PAVEMENT SECTION

CS501 SCALE: NO SCALE

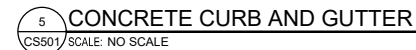


2 CONCRETE PAVEMENT SECTION

CS501 SCALE: NO SCALE



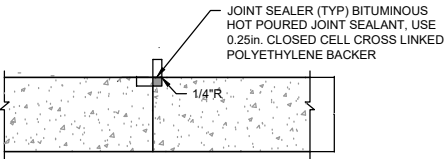
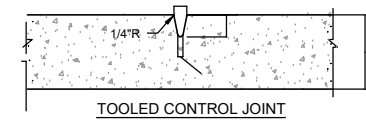
3 ACCESSIBLE STALL LAYOUT
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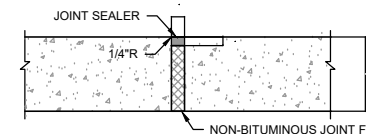
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WALK WIDTH	CONTRACTION JOINT SPACING	
	TRANSVERSE	LONGITUDINAL
4'	4'	NOT REQUIRED
5'	5'	NOT REQUIRED
6'	6'	NOT REQUIRED
8'	4'	4'
10'	5'	5'
12'	6'	6'

TABLE 2. JOINT SPACING FOR PAVEMENT	
CONCRETE PAVEMENT THICKNESS	MAXIMUM JOINT SPACING
6" OR LESS	12'
8"	16'
10" OR GREATER	20'

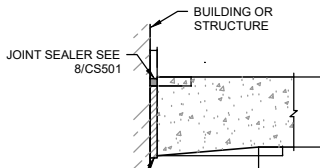


CONSTRUCTION JOINT
USE ONLY WHERE WEAKENED PLANE JOINTS WOULD NORMALLY OCCUR

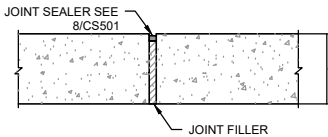


EXPANSION JOINT
MAXIMUM SPACING 60'-0". USE AT ABUTTING BUILDINGS, CURBS, WALLS AND OTHER STRUCTURES AND AS SHOWN

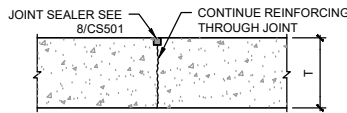
SIDEWALK JOINTS



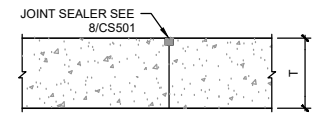
EXPANSION JOINT AT STRUCTURES
USE AGAINST BUILDINGS OR OTHER STRUCTURES



EXPANSION JOINT

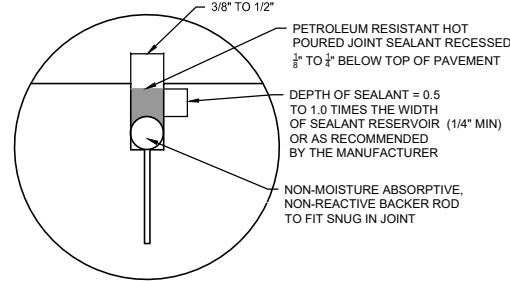
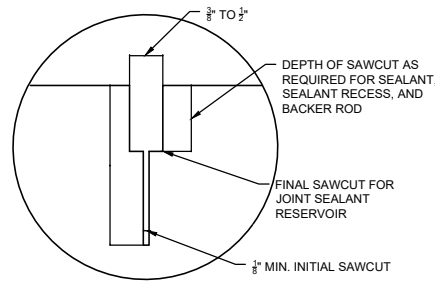


CONTRACTION JOINT
MAX. CONTRACTION JOINT SPACING: SEE TABLE 2

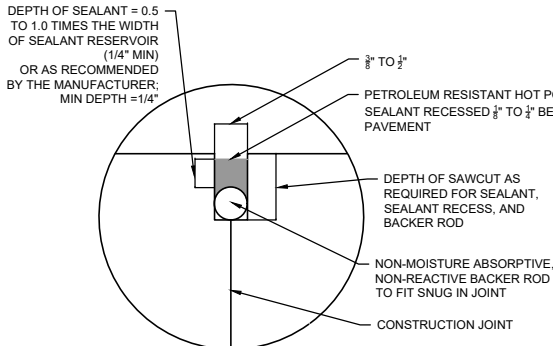


CONSTRUCTION JOINT
USE WHERE CONCRETE PLACEMENT OPERATIONS STOP FOR MORE THAN 30 MINUTES, END FOR THE DAY, OR WHERE CAST AGAINST PREVIOUSLY PLACED OR EXISTING CONCRETE.

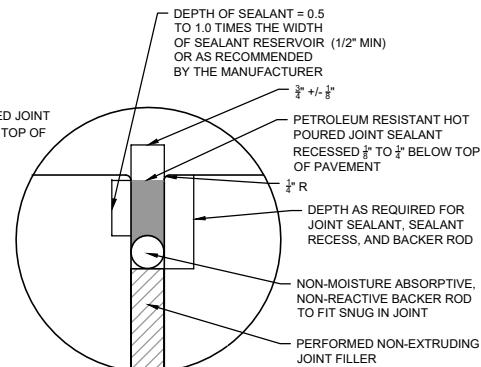
PAVEMENT JOINTS



CONTRACTION JOINT



COMPLETED CONSTRUCTION JOINT SEALANT DETAIL



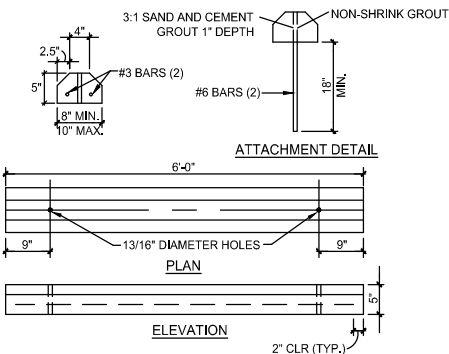
COMPLETED EXPANSION JOINT SEALANT DETAIL

JOINT SEALANTS

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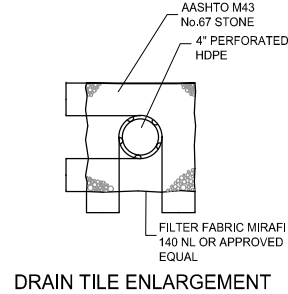
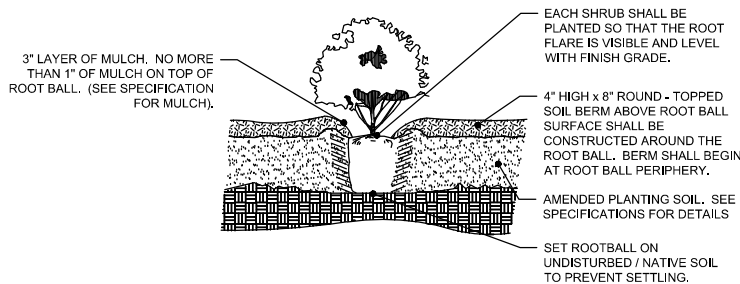
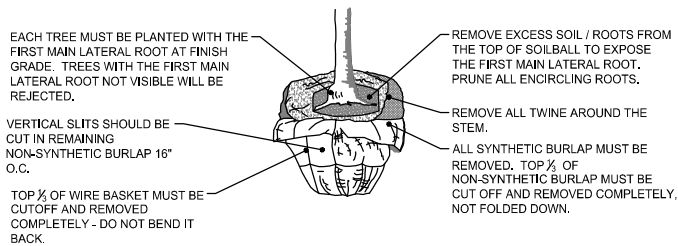
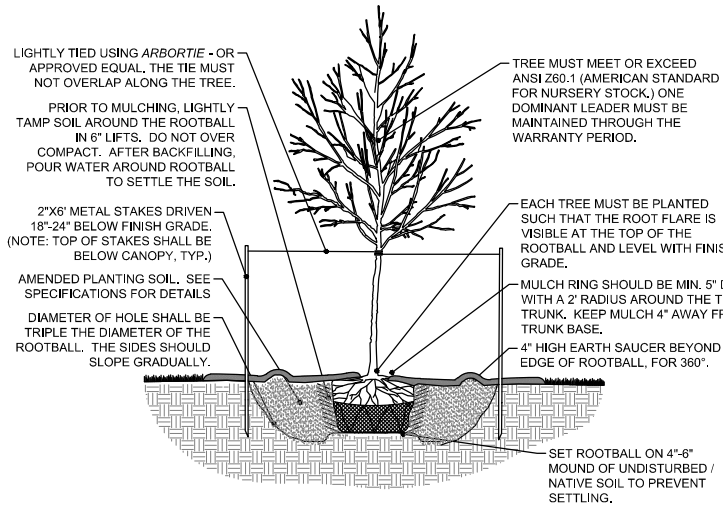
CONCRETE JOINTS

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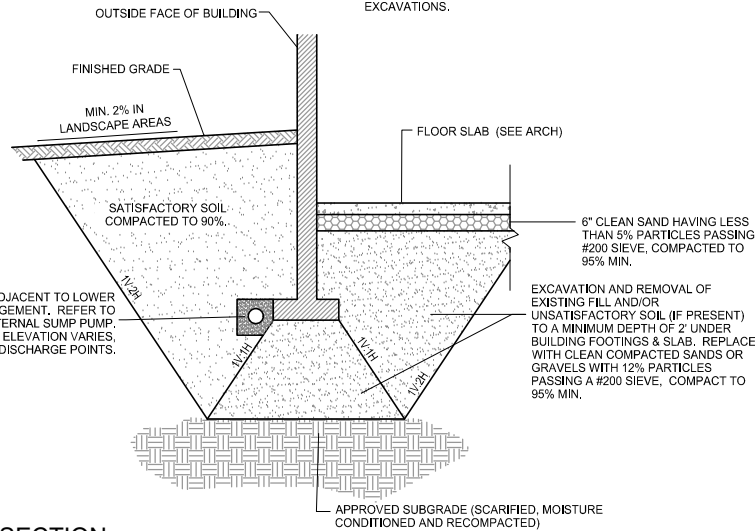


PRECAST CONCRETE WHEEL STOP

CS502 SCALE: NO SCALE



DRAIN TILE ENLARGEMENT



EXCAVATION SECTION

CS503 SCALE: NO SCALE

REVISIONS

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BRIAN J. BOURASSA

DATE: 04/03/2019 LIC. NO.: 21816

**2019 TRIANGLE PARK
IMPROVEMENT PROJECT
CITY OF ROGERS, MN**

**CONSTRUCTION
DETAILS**

LIONS CENTRAL PARK BUILDING

APRIL 30 FACILITIES/CAPITAL PROJECTS WORKSHOP

TIME TABLE



- Site plan approved April 23
- Approve AIA Contract for construction management May 14
- Advertisement for bid May 21
- Site grading and utilities complete by June 15
- Award bids and enter GMP amended contract June 25
- Begin construction July
- Four months of construction (estimated completion November)
- Ribbon cutting and Tree Lighting Ceremony December 6

OPERATIONAL ASSUMPTIONS

COMMUNITY ROOM		NEW BUILDING ASSUMPTIONS	
Insurance	\$1,200	Insurance	\$1,800
Electric	\$8,000	Electric	\$10,000
Gas	\$4,700	Gas	\$6,000
Water/Sewer	\$1,100	Water/Sewer	\$1,500
Refuse	\$2,750	Refuse	\$3,000
Total	\$17,750	Total	\$22,300

Other line items not expected to differ from Community Room budget.

STAFFING

STATUS QUO

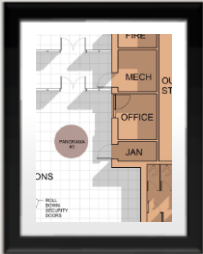
- PT Staff Setup
- Main Hall and Meeting Room not open when not rented
 - Lobby and Restrooms open during park hours and events
- Sign-out for rental access
- Generally 1 rental per day, per space
- PT Staff coverage for all events
 - Would have to raise some rates to cover events
 - PT staff are difficult to come by

FUTURE STAFFING CONSIDERATIONS

- PT Staff to staff building and offer concessions
- Additional recreation programming staff
- Fulltime setup/custodian
 - Allows for the building to be open to the public more
 - Greater building/asset security
 - Coverage at additional city spaces (Senior Center, City Hall etc.)

ONSITE OFFICE

- Shared office space-hotel style work station
 - Recreation Services Coordinator
 - Farmers market coordination
 - Rental coordination
 - Special event coordination
 - Building management and inventory control



FFE

- Use current oval tables at new building and a select few rectangle tables
- Use current budget for new chairs for new building space
- Kitchen equipment-by others



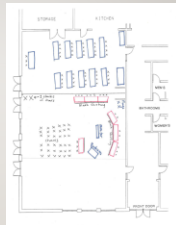
NEW BUILDING PROGRAMING

- Primarily rentals
- If the space is required or requested by city purposes the department would pay in the same way utilities are budgeted/paid
- Lobby/Restrooms would be used on for City functions in the park (Farmers Market, Entertainment in the Park, Movies in the Park, fitness programs etc.)



COMMUNITY ROOM PROGRAMING

- City Meetings
- Rentals with limited setup
- Fire Department Training
- Polling Location
- Day Room Rentals/Free meeting space
- Senior Programs
 - Senior Dining
 - Jammers
 - Senior Fair®



DONATIONS NAMING RIGHTS

- Free/reduce rentals for donors?
- Length of time?
- Spaces to have naming rights?



DONATIONS NAMING RIGHTS

- Event Center Sponsorships (20 Years)
- A. Overall Building Name: \$100,000
 - B. Sign & Turf Area: \$75,000
 - C. Grand Hall Main Area: \$50,000
 - D. Main Entrance/Forum: 35,000
 - E. Storage Center: \$30,000
 - F. Welcome Center/Reception: \$10,000
 - G. Meeting Room(s): \$15,000
 - H. "Guns Kitchen": \$25,000
 - I. AED: \$1500 each - (2 Units)
 - J. Club Room: \$5,000
 - K. Replica/Venue: \$15,000
- Normal Garden
- A. "Rural Garden" (1) \$15,000
 - B. Sculpture: \$10,000-20,000
 - C. Sign area: (1) \$7,500
 - D. Bench: (8) \$3,500
 - A. Tree: (8) 750
 - E. Fountain / Water Feature: (3)
 - F. Minor Planting Bed: (6) \$400
 - G. Major Planting Bed: (6) \$1,000
 - H. Pavement: (1) \$250

WHAT DO WE CALL THE BUILDING

- Event Center
- 129th & Main
- Rogers Crossings
- Crossroads
- Town Center
- Village
- Depot
- Campus
- Plaza
- Commons
- Center
- Patch
- Union
- Square
- Green
- Grounds
- Downtown
- Center
- Core
- Courtyard
- Area
- Lodge
- Station



QUESTIONS



**REQUEST FOR ACTION
PARK BOARD**

Meeting Date: May 9, 2019

Agenda Item: No. 6.2

Subject: Parks and Recreation Referendum

Prepared By: Mike Bauer Recreation and Facilities Director

Recommended Park Board Action

Pending discussion.

Overview / Background

This is a standing agenda item regarding the Local Option Sales Tax Parks and Recreation referendum. Staff will provide further updates at the meeting and look for direction when needed.

Omnibus Bill: https://www.revisor.mn.gov/bills/text.php?number=SF0005&session=ls91&version=latest&session_number=0&session_year=2019

ATTACHMENTS:

Description

LOST Legislative Handout

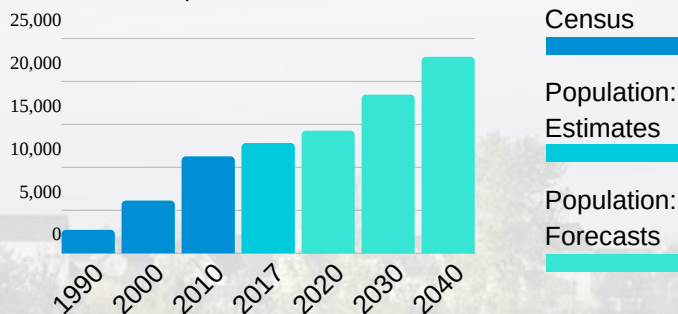
CITY OF ROGERS LOCAL OPTION SALES TAX 2019

Local Option Sales Tax in Rogers, Minnesota

Regional Hub

- Rogers is a City of only 13,000 residents, but it is not a bedroom community. Rather, it is a regional hub for retail, and home to over 10,000 jobs and four schools within the Elk River School District.
- As supported by voters in the 2018 local referendum, the sales tax is an attempt to partially equalize funding on a more regional basis by deriving revenue from Rogers' daytime population of retail shoppers.

Population Growth

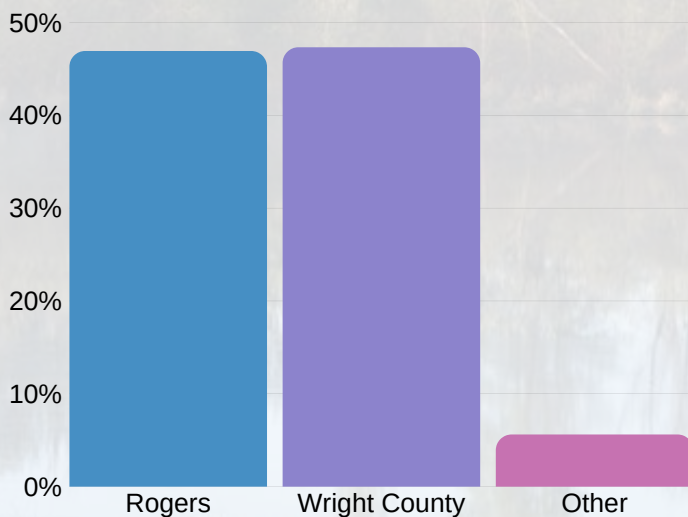


Sources: U.S. Census Bureau Decennial Census, Metropolitan Council Annual Estimates, and Metropolitan Council Forecasts.

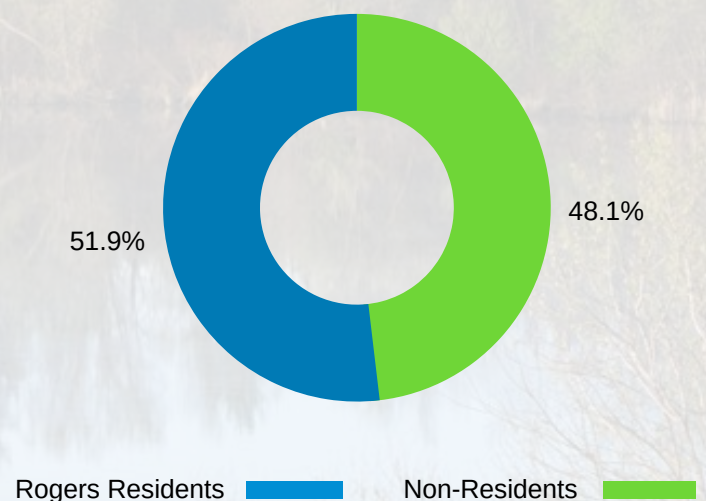
Unequal Regional Park & Rec Facility Burden

- Given the geography of the Elk River School District, the City of Rogers carries an unequal share of the burden for providing park, recreational and sports facilities.
- Over 48% of youth sports participants are not from Rogers.
- Less than half of all students at Rogers High School are from the City of Rogers.
- Rogers carries the municipal burden for the partnership between the City, the school district, and various youth associations.
- Park and trail dedication and City capital funds are not sufficient to fund fields and facilities supporting school and youth association activities.
- The sales tax approach would more evenly distribute the tax burden to benefiting populations regionally, versus a property tax impacting only Rogers residents.

Where do Rogers High School Students Live?



Rogers Youth Recreation Programs Breakdown



Public Involvement?



As an active and growing community, the Rogers City Council, Park Board and City staff routinely hear from individuals and associations regarding their desire for expanded/new parks, trails and recreational facilities. In order to determine community opinions beyond those of vocal minorities/interest groups, the City undertook a professionally-conducted, random-sample survey of residents (the "community survey") in order to better gauge the true level of desire, willingness to pay and the specific types of facilities most and least desired by our residents.

Community Survey

The results of the scientific survey generally found that:

- **Sixty percent** of likely voters would support a $\frac{1}{4}$ cent increase in the local sales tax for up to twenty years to fund construction.
- A property tax increase is considered less favorable.
- An indoor pool/aquatics facilities, community center and trail connections lead the list of projects for which respondents were most willing to raise taxes (i.e., higher or new taxes).

Other Public Engagement Opportunities

- Multiple Open Houses with Presentations and Q&A by Staff & Council
- Rockin' Rogers Days Information Booth

Public Outreach Efforts

- City Newsletter
- City Website
- Informational Flyers
- Open House Project Newsletter



Planned Projects



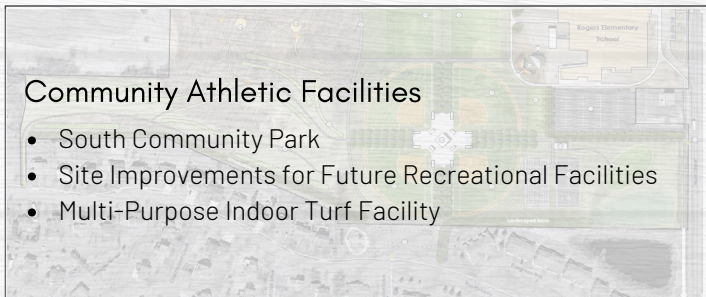
Aquatic Facilities

- Contribution Toward the Community Portion of a School Pool
- Splash Pad



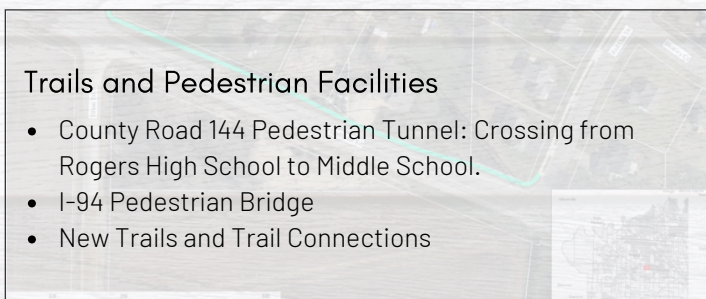
Community Athletic Facilities

- South Community Park
- Site Improvements for Future Recreational Facilities
- Multi-Purpose Indoor Turf Facility



Trails and Pedestrian Facilities

- County Road 144 Pedestrian Tunnel: Crossing from Rogers High School to Middle School.
- I-94 Pedestrian Bridge
- New Trails and Trail Connections



Planned Projects Cost Assumptions

Description	Cost (Millions)
• Pool	\$2.0
• Multi-Purpose Indoor Turf	\$3.5
• South Community Park	\$2.75
• Aquatics (Splash Pad)	\$1.0
• Trails	\$2.5
• I-94 Ped. Bridge	\$2.0
• County Rd. 144 Ped. Tunnel	\$0.75
• Site Improvements for Future Recreational Facilities	\$2.0

Max Budget: \$16.5



**REQUEST FOR ACTION
PARK BOARD**

Meeting Date: May 9, 2019

Agenda Item: No. 6.3

Subject: 2019 Work Plan

Prepared By: Mike Bauer Recreation and Facilities Director

Recommended Park Board Action

Pending discussion.

Overview / Background

Standing agenda item to give work updates and look for direction.

ATTACHMENTS:

Description

2019 Work Plan

2019 Twelve Month Work Plan



Trails

- Development
 - Rogers Elementary/Main Street (SRTS)
 - Rush Creek (TRPD)
 - Crow River (TRPD)
 -
- Design
 - Hassan Elementary To Marie Ave (SRTS)
- Construction
 - Broadway Trail Link (FMP)
 - Brockton Lane to Wellstead Drive (FMP)
 - Territorial View Estates
 - Shadow Wood Looping Trail



Rogers Event Center at Lions Central Park

- Site Prep
- Building Construction



Hennepin County Youth Sports Grant

- Reservoir Fields
- SCP Application



Tennis Center (Public Private Partnership)

- Parking Lot and Site Grading



South Community Park Planning

- Rink Placement/Construction



ISD 728 Partnership

- Pool
- Performance Gym
- Community Access



Laurel Creek Park Design



**REQUEST FOR ACTION
PARK BOARD**

Meeting Date: May 9, 2019

Agenda Item: No. 8.1

Subject: Correspondence

**Prepared
By:**

Overview / Background

Correspondence for May Parks and Recreation Advisory Commission.
Programming Update will be provided at the meeting.

ATTACHMENTS:

Description

May Correspondence

Programming Update

Splash Pad

From: Yahoo <sthurk22@yahoo.com>
Sent: Tuesday, May 07, 2019 9:31 AM
To: Scott Weltzin <sweltzin@rogersmn.gov>
Subject: Splash pad

Hi Scott,

I found your email online so If you're not the correct person for this, please forward to the correct person.

I was excited to see that the splash pad is almost officially approved! I am hoping to voice some suggestions on it in case the city is open to hearing. I really like the Champlin splash pad type features in that there are many different ways the water is projected. But lets make the space bigger for Rogers because Champlin's is a bit small!

The interactive part is important and goes well w/ the STEM theme of the elementary nearby. Being able to turn cannons and spouts, and maybe even have some other innovative ways to alter the path. Spouts that bend and buckets that can dump water by a lever & other features that can be actuated. Just make it exciting to go to as opposed to the boring Maple Grove splash pad.

Minimal chlorine would be appreciated also as some places have it so high it burns eyes and smells bery strong. A salt water system would be a lot healthier if feasible.

Thanks for reading my email & I'm looking forward to seeing it built soon!!

Regards,
Shelley

Cowely Lake

Good Morning Mike,

Thank you so much for this update. We appreciate it very much.

We are aware of the mowing and trimming that is done on the property, and we also try to keep an eye on things when weather permits.

Yes, please feel free to pass along our comments and concerns as tax payers/landowners regarding the park plans to the Commission.

If you could please update us when/if you hear of any pending development on the property, we would sure appreciate that!

Thank you again.

Warm regards,

Chris

From: Mike Bauer [<mailto:mbauer@rogersmn.gov>]
Sent: Friday, May 03, 2019 8:54 AM
To: Chris Wentzel
Subject: RE: The Cowley Lake Area Park Plans

Hi Chris,

I would not consider this project to be a priority for the next few years; there are many projects that will take place before this one. There may be some work in managing some of the brush and tree growth in the location however that work has been going on as long as I have worked here.

I will be sure to pass along your comments on the Park Plan to the Parks and Recreation advisory Commission.

Thank you,

Mike Bauer
Recreation & Facilities Director
www.RogersMN.gov
763-428-0974

From: Chris Wentzel <cwentzel@pro-ns.net>
Sent: Thursday, May 02, 2019 6:07 PM
To: Mike Bauer <mbauer@rogersmn.gov>
Subject: RE: The Cowley Lake Area Park Plans

Thank you Mike,

In your professional opinion, how close are we to this actually happening...any idea at all?

We realize it all has to do with funding, and state approvals, but as a priority for the city, is this plan on a "front burner" or more of a "back burner" do you know?

Thank you for your candor Mike. We really would appreciate any updates you might be made aware of going forward on this.

To be honest, as the closest homeowners, landowners, and property tax payers, we are not at all in favor of the cost, proximity or scope of this proposed park at Cowley Lake.

Thank you again.

Regards,

Chris

From: Mike Bauer [<mailto:mbauer@rogersmn.gov>]

Sent: Wednesday, May 01, 2019 4:32 PM

To: Chris Wentzel; Scott Weltzin

Subject: RE: The Cowley Lake Area Park Plans

Hi Chris,

Attached you will find the master plan for Cowley Lake Park. Currently, there is no timeline for completion or dedicated funding source. Please let me know if you have any questions about the plan.

Thank you,

Mike Bauer

Recreation & Facilities Director

www.RogersMN.gov

763-428-0974

From: Chris Wentzel <cwentzel@pro-ns.net>

Sent: Wednesday, May 01, 2019 12:43 PM

To: Scott Weltzin <sweltzin@rogersmn.gov>

Cc: Mike Bauer <mbauer@rogersmn.gov>

Subject: RE: The Cowley Lake Area Park Plans

Thank you Scott, and Hello Mike-

We appreciate that update. We occasionally take a walk down around the house and back just to kind of check things out, but we have never really seen any problems. We were pretty close friends with the previous owners and still keep in touch with them.

Will you be keeping the chain across the driveway going forward Scott?

Mike, if you are aware of any long range plans, could you please update us?

Thank you,

Regards,

Chris

From: Scott Weltzin [<mailto:sweltzin@rogersmn.gov>]

Sent: Wednesday, May 01, 2019 11:19 AM

To: Chris Wentzel

Cc: Mike Bauer

Subject: RE: The Cowley Lake Area Park Plans

There was a door broken into in the house that was reported as vandalism. I went out with the police chief and an officer to make sure no one was squatting or using the house as a fort. The place was fine, we bolted the damaged door and secured the facility. We mow it every couple of weeks all summer long and keep an eye on it that way, but not too often in the winter. I have not seen or heard of any plans for the property. You could contact Mike Bauer and see if there are any long range plans being discussed at the Park Board level. I will CC him on this response.

Scott Weltzin

City of Rogers

Park and Public Building Supervisor

763-464-8721

From: Chris Wentzel <cwentzel@pro-ns.net>

Sent: Wednesday, May 01, 2019 11:06 AM

To: Scott Weltzin <sweltzin@rogersmn.gov>

Subject: The Cowley Lake Area Park Plans

Hello Scott,

We own the home at 13420 Willandale Road in Rogers and are interested in any information and/or update on the city's proposed plans for the "Cowley Lake Park" area please.

Our property borders the driveway and a portion of the western edge of the city's property located on the west side of Cowley Lake.

We have tried to keep apprised of the plans the city has going forward on this property but haven't been able to find any updated information lately.

We did see a city truck and two police cars go down the driveway last week, which is unusual, and a little concerning!

Would you be available by phone or to meet in person to discuss with us the plans/timelines Roger's has for this property please?

Thank you.

Sincerely,

Scott and Chris Wentzel

Reservoir Fields

On Tue, Apr 16, 2019 at 8:29 AM Jason Ziemer <jziemer@rogersmn.gov> wrote:

Hi Dave. My apologies – for some reason I did miss your email, so thank you for resending. I will try to answer the questions best that I can. I am also copying John Seifert, Public Works Director, and Mike Bauer, Parks & Recreation Director, on this email as they have been directly involved in this project and are the ones that can better answer your questions.

The tennis facility project is a joint effort between the City and a private entity. The building is to be constructed on the western side of the property and does not impact trees. As you stated there is also a parking lot to be located along 147th Avenue. The plan for the property has always been intended for park/open space/athletic fields, in addition to a (water) ground storage reservoir and possibly future water treatment facility. The driving factor behind the tree removal was more so the athletic fields and parking lot. The athletic fields will be used for both City and School activities.

I do agree with you the City needs to do all it can to preserve its tree canopy. Preservation efforts typically focus around "quality" native trees; with development that is not always possible. I am not sure of the type of trees that were in that stand, so I cannot speak to whether any of those trees may have fit that description.

Jason

From: Dave Mercure <up.merc64@gmail.com>

Sent: Tuesday, April 16, 2019 7:25 AM

To: Jason Ziemer <jziemer@rogersmn.gov>

Subject: Re: Reservoir Fields Plan PID# 11-120-23-14-0006

Jason, I'm unsure if you were too busy to reply to email, it got lost in the shuffle? I would appreciate feedback/answers to my question questions above.

It especially seems like keeping a buffer large mature trees would be better for the environment, could have been spared and help combat climate change.

On Tue, Apr 9, 2019 at 12:00 PM Dave Mercure <up.merc64@gmail.com> wrote:

Jason, I see the city is moving forward with some sort of plan for the Reservoir Fields quite quickly.

I guess my question is why does the city have enough money to do a joint venture for an indoor tennis court (which seems to NOT be a very popular sport), but not enough money to spare a perfect buffer zone of trees between residential and commercial zoning?

I had planned to attend the zoning meeting but had a conflict.

Please explain why the 30-40 feet width of nice mature trees could not have been spared with the lot plans. Are these such things ever considered during planning? Thankfully I don't live in the lot right next to this as it would seem like you (the city) has devalued that residential lot, as who will want to buy a house that overlooks a parking lot? Obviously it's too late now.

I thought I would express my discontent with what seems to be from the outside Not very thoughtful planning, but maybe I'm wrong and there is a reason unknown to me. If so please explain to me the reasons, I know utility easements may be one possible reason but those could be moved it seems.

I'm hearing that I'm not the only one who has this concern according to people who I have talked to and those who have FaceBook.

I also am hear via word of mouth as not many read the posting in the paper that there is also plans for something related to the high school sport that will be going next to reservoir.

Please let me know what those plans are.

Regards

Dave Mercure

Brockton Meadows

From: Patrick Miller <p.millertime@gmail.com>

Sent: Thursday, April 11, 2019 6:15 PM

To: Mike Bauer <mbauer@rogersmn.gov>

Cc: Ahansbro312@gmail.com

Subject: Request to agenda item to May 9 PRAC meeting

Greetings Dale and Brett,

Could you please add an agenda item to May's PRAC meeting for: Brockton Meadows Neighborhood Park Courts?

The surrounding homes and HOA are working to provide a one common voice for a request to add an some courts/fields to the park. We are preparing a electronic survey to confirm interest to add:

1) Combo Hockey Rink/Basketball Court

2) Outdoor Sand Volleyball Court

If the survey shows strong neighborhood agreement among the 140 homes for the those items, would the city cover the expected cost of about \$75,000 in the 2019 or 2020 budget?

Feel free to call me @ [REDACTED] or email to dicuss any thoughts or next steps.

Thank you for your time and leadership on the PRAC!

Patrick M.

Yoga in the Park

On Apr 11, 2019, at 8:36 AM, Mike Bauer <mbauer@rogersmn.gov> wrote:

Hi Elizabeth,

Thank you for the e-mail. Currently, we do not have a permitting policy for this type of activity. Due to some disturbances last year we are working on that process. We will be asking for the park(s) you will be using, the number of expected participants and your contact information.

We will ask that you be mindful of other users of the park and not to block trails and other equipment- not to interfere with others enjoyment of the park. Please let me know if you have any other questions.

Thank you,

Mike Bauer

Recreation & Facilities Director

www.RogersMN.gov

763-428-0974

----- Original message -----

From: Elizabeth Haley <ehaley1291@gmail.com>

Date: 4/4/19 5:46 PM (GMT-06:00)

To: Stacy Scharber <sscharber@rogersmn.gov>

Subject: Yoga in the Park?

Good evening,

I am looking for information as to how I could offer a weekly yoga class at a park throughout the summer months.

I am a certified yoga instructor residing in rogers, but I am unsure of how to start this process.

Would there be a rental fee for using the park space?

Any information would be greatly appreciated!

Thank you,

Elizabeth Haley



Staff Update

Parks and Recreation

Summer Adult Softball

Men's softball started the last week of April, both Monday and Tuesday night men's leagues have 12 teams; however, Tuesday night games were called due to weather and officially will not have their first games until May. The co-rec league was cancelled due to lack of numbers.

ISD 728, City, Township, & Chamber Officials Meeting

Mayor Ihli and Recreation and Facilities Director Bauer attended the ISD 728, City, Township, & Chamber Officials Meeting on Thursday, April 18 at the ISD 728 District offices. ISD 728 Superintendent Bittman gave a presentation on the school budget, the main takeaway was the school district has cut \$10,000,000 from the operating budget over the last six years and due to unfunded state mandates the school district will be cutting an additional \$10,000,000 from the school budget for the 2019-2020 school budget.

Each of the last several years the district has grown by 200 students a year. Projections indicate that the district will conservatively continue to grow at this pace with an additional 2,000 students in the district in the next ten years Mostly in the south end of the district (Rogers and Otsego).

Over the past several years ISD 728 has created and has begun implementing a strategic plan to address four areas: capacity, safety, programming, and long term facility maintenance. The School Board will be determining how to meet these goals, but it will most likely require a fall 2019 referendum. The tentative projects include a new middle school in Otsego(the E-8 building would then become E-5), repair infrastructure at the two oldest schools in the district Rogers Elementary and Vandenberg Middle School, and then there would be several enhancements made throughout the district to bring programming offerings up to Minnesota secondary school standards. It was unclear on all of the specifics of the projects however it was mentioned that there would be multipurpose fields at each high school, at about \$1M each and then they listed that there would be \$7M in projects in Zimmerman, \$8M in Elk River and \$15M in Rogers/Otsego. There was a discussion of a pool in Rogers by Dr. Bittman so that may explain the differing amounts between communities.

Next steps:

April 22 ISD 728 Board Work Session

April 23, 1 pm Meeting to discuss possible partnerships (Please contact Recreation and facilities director Bauer if you are interested in attending.) Staff's main focus will be on the referendum related projects the Aquatic Center and the tunnel.

June 24 Deadline for ISD 728 to decide on a referendum.

More information:

Strategic plan: <https://www.isd728.org/Page/4505>

Step to It Challenge

Sent global email to prior year participants regarding Step to It Challenge scheduled to begin May 1. Informed them that registration was now open. This is our ninth year participating in this event as a community.



NCP Concessions

This week staff continued to get the North Community Park Concessions stand ready to be open. Staff removed shelves and painted the walls as required by the health department. In December staff reported that the group that was operating the concessions stand was no longer interested in doing so. The operators of the concessions stand play an important role in locking and unlocking the restrooms at the park and relay information to city staff and monitoring park usage. Staff attempted to get one of the local youth associations to operate the stand; there was interest in running the stand for their tournaments but not for the season.

With no viable option from local groups, staff spoke with several private for-profit concessionaires to operate the stand. The Parks and Recreation Advisory Commission recommended that if another operator could not be found that current city staff operate the stand. The menu will be similar to the Activity Center menu so at the end of the season inventory could be transferred between the locations, and there will be staff from the Activity Center operating the stand.

Senior Recreation

Senior Dining

The average number of meals served in March was 19.5 per day. The daily attendance ranged from 10 - 35 and no meals were cancelled. The manager at Heritage Place apartments began ordering to-go meals on March 12 for the residents that can't go out for lunch, which raised our meal orders. For the month, we averaged nine to-go meals per day.

The average number of meals served in April was 22.5 per day. The daily attendance ranged from 13 - 44 and three meals were cancelled due to bad weather and low reservations.

Cancelled Health Care Directive Class

A free health care directive class was planned for Wednesday, March 13, but only two people signed up, and it was cancelled.

AARP Tax Assistance

Beginning February 7, free tax assistance has been offered at the Senior Center every Thursday by appointment. Volunteers trained by AARP assist 9 am – 12 pm every week through April 11. Generally, 9-12 appointments are held every Thursday depending on the number of volunteers.

Senior Cinema Series

On Monday, March 18, the movie "Dreamer" was played at the Senior Center for four attendees.

Drawing & Colored Pencils Art Classes

On Tuesday, March 19, Donna taught 90-minute art classes for one person at the Senior Center.

Lunch & Learn: Aging in Place or Time to Move?

On Tuesday, March 19, the owner of Soft Landing Transitions and a realtor presented to 20 seniors at the Community Room while they enjoyed senior dining lunch.

Driver Improvement Class

On Wednesday, March 20, a refresher Driver Improvement Course was taught at the Senior Center for 26 participants.

Book Club

The book club meets monthly at the Senior Center and on March 27, they discussed Bernice Ende's book *Lady Long Rider*. There were 6 participants.

Trip to see Red Herring comedy play

On Thursday, March 28, a group of 21 people took a bus to Bloomington to visit the Masonic Heritage Center, where they explored the museum, enjoyed lunch, and almost had the theater to themselves for the comedy play *Red Herring* put on by Sidekick Theatre. The venue was wonderful, and the group would love to go back.



Bernice Ende Author Presentations

Bernice Ende grew up in the Rogers area and has since traveled over 29,000 on horseback by herself. She shared her extraordinary experiences in her memoir *Lady Long Rider* which was the March book club selection. She provided two presentations on her experiences to the community on Tuesday, April 2. The first one followed senior dining at 1 pm at the Community Room and the second was at 7 pm at the Senior Center. There were 43 people served a noon meal, 65 people in attendance at 1 pm and 37 people at 7 pm.



Lunch & Learn: Fruits & Vegetables

On Wednesday, April 10, Dan from Humana presented to 10 people on why it's healthy to eat fruits and vegetables in a variety of colors because each one provides a different benefit.

Senior Cinema Series

Beginning April 5, a movie is shown every Friday at 12:45 pm instead of a TV series. The attendance has ranged from 2-4 people every Friday so far.

Watercolor Painting Class

On Monday, April 15, an afternoon art class was held at the Senior Center for four students. Jean McFarlane taught the class for \$5.

Trip to Skyrock Farm

On Tuesday, April 16, a group of 36 St. Michael & Rogers seniors headed to Medina to explore Skyrock Farm. It was like nothing most people had experienced before. There was one building dedicated to antique dance and fair organs, along with a working carousel. The husband provided a tour of his collection and demonstrated several of the organs, which dated to the 1800s. A homemade pot roast lunch was consumed before heading to the horse barn where the wife demonstrated a couple of her jumping horses. Several comments were shared expressing their satisfaction with the trip, with hopes to return in the future.



Drawing & Colored Pencils Art Classes

On Tuesday, April 16 & 30, two 90-minute art classes were offered but cancelled due to no registrations.

Great Decisions Discussion Group

On Wednesday, April 17, the Great Decisions group met for the first time this year. They meet for eight consecutive months per year and discuss a different global topic each time. This month, 11 people gathered to discuss global migration and had a local expert present on the topic.

Bingo

On Monday, April 22, an hour of free bingo was offered at the senior center and was called by Ryon who works at Heritage Place. As always, prizes were awarded to the winners which consisted of purchased snacks/treats and donated homemade crafts.



iPad/Tablet Workshop

A tablet workshop was coordinated for May 1 but was cancelled due to no registrations.

Plan Your Move Presentation

On Thursday, May 2, a free presentation on selling your home & planning for a move was offered at the Senior Center. Four people attended the round table presentation and learned from a local realtor, a home inspector, and a decluttering expert.

New Card Group

Beginning May 6, a pinochle card group will play weekly at the Senior Center every Monday at 1 pm. Four people showed up for the first session.

Activity Center

Mite Roundup

The Mite Roundup was again very well received by all of those who attended. By the numbers:

24 teams

258 skaters

36 games over three days

358 hotdogs made

171 bags of popcorn sold

158 event t-shirts sold



\$3,600 gross sales in concessions

Before starting this event seven years ago, this was a weekend the Activity Center was traditionally closed between the end of winter hockey and the start of spring leagues.

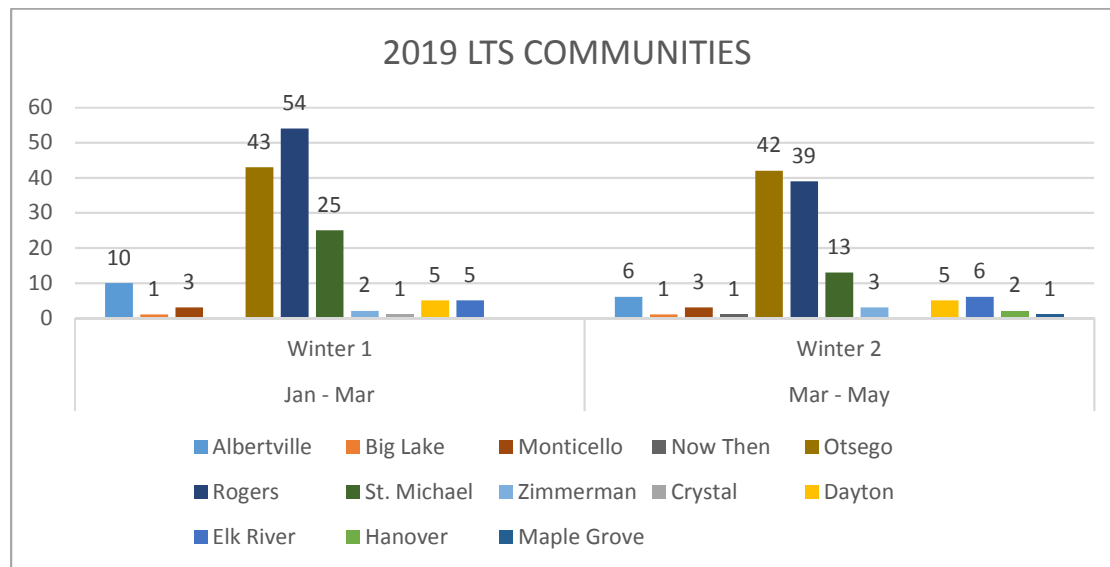
Learn to Skate

Winter 2 session started March 2 and was almost as busy at our Winter 1 session was with 122 skaters. We continue to have multiple surrounding communities take part in our program; they include:

Rogers – 39	Otsego – 42	Elk River - 6	
St. Michael – 13			
Zimmerman – 3	Dayton – 5	Monticello – 3	Albertville – 6
Big Lake – 1	Hanover – 2	Maple Grove – 1	Now Then - 1



Our attendance was up from 2018 by 19.



Winter 2 session ended the second weekend of April with no new learn to skates until mid-June due to ice maintenance in May. We will have two Summer sessions during the week in June and July.

No School No Problem

With another snow day Pond Hockey (open hockey for kids) was added at the RAC. Between the two sessions, we had forty skaters.



New Hockey Coach

This week it was announced that David Brown had been hired as the new Rogers High School Boys Hockey Coach. Staff met coach Brown this week and is excited to work towards increasing attendance at games again. Coach Brown was an assistant coach on the Wayzata team that won the state title in 2016.