AGENDA

ROGERS CITY COUNCIL

October 23, 2018 - 7:00 PM

WORK SESSION - 5:30 P.M.

1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

2. OPEN FORUM

Individuals may address the Council about any item not contained on the regular agenda. A maximum of 10 minutes is allocated for the Forum. If the full 10 minutes are not needed for the Forum, the Mayor will continue with the agenda. If additional time is needed for the Forum, the Council will continue the Forum following Other Business on the agenda. The Council will take no official action on items discussed at the Forum, with the exception of referral to staff of Commission for future report.

3. PRESENTATIONS

4. APPROVE AGENDA

Council members may add items to the agenda for discussion purposes or staff direction only. The Council will not normally take official action on items added to the agenda.

5. CONSENT AGENDA

These items are considered to be routine and will be enacted by one motion. There will be no separate discussion of these items unless a Councilmember so requests, in which event the item will be removed from the Consent Agenda and placed elsewhere on the agenda.

5.1 Approval of the October 9, 2018 City Council Meeting Minutes

5.2 Approval of Bills and Claims

5.3 Approval of Resolution No. 2018-87 A Resolution Supporting Metropolitan Council Study for Northwest Metropolitan Area Regional Surface Water Supply System

5.4 Authorization to Call a Public Hearing for Tuesday, November 13, 2018 at 7:00 p.m. for the Purpose of Adopting the Annual Fee Schedule Ordinance, Utility Rates, and Related Items

5.5 Setting a Budget Workshop of the City Council for Tuesday, October 30, 2018 at 6:00 p.m. at the Rogers Police Department, 21860 Industrial Court, Rogers, MN

5.6 Setting a Budget Workshop of the City Council for Tuesday, November 13, 2018 at 5:30 p.m. at the Rogers Community Room, 21201 Memorial Drive, Rogers, MN

5.7 Approval of the 2019 Siren Maintenance Contract with Embedded Systems, Inc.

5.8 Authorization of 2018 Audit Engagement Letter

5.9 Authorization to Call for a Public Hearing to Vacate Excess Road Right of Way - S. Diamond Lk. Rd. RWAS

5.10 Approval of Resolution 2018-84 Requesting Metropolitan Council Acquire the Rogers Publicly-Owned Waste Water Treatment Plant Through an Acquisition Agreement

5.11 Approval of Scope of Services from WSB for Industrial Blvd Extension Plat

5.12 Accept Improvements and Approve Final Payment for the Brockton Lane Utilities Improvement Project

5.13 Approval of Disposal of Excess Items

5.14 Accept Improvements and Approve Final Payment for the NE Hassan Street Improvement Project

5.15 Accept Improvements and Approve Final Payment for the South Diamond Lake Road/Brockton Lane Intersection Improvement Project

5.16 Approval of Resolution 2018-85 A Resolution Authorizing Submittal of a Hennepin County Youth Sports Grant Application Reservoir Fields

5.17 Approval of Resolution 2018-88, Amending a Conditional Use Permit Dated July 10, 2012 to Allow for Outdoor Storage of Trucks, Trailers, and Materials, Located at 22851 Industrial Boulevard

6. PUBLIC HEARINGS

6.1 Public Hearing to Adopt the Proposed Assessment for Delinquent Sewer, Water, Recycling and/or Storm Water Services Charges

- Resolution No. 2018-86, A Resolution Adopting and Confirming Assessment for Delinquent Sewer and Water Services Charges (2018)

6.2 Public Hearing to Consider Request to Vacate a Portion of David Koch Avenue, Formerly 129th Avenue North

- Resolution No. 2018-89, Vacating a Portion of Right of Way Thereof Lots 1 and 2, Inclusive, Block 1, Rogers Industrial Park 2nd Addition.

7. GENERAL BUSINESS

7.1 Items Relating to a Request from Graco, Inc.:

- Approval of Resolution No. 2018-90, Approving a Preliminary and Final Plat for Graco Addition.
- Approval of Resolution No. 2018-91, Approving a Site Plan for 20500 David Koch Avenue.
- Approval of Resolution No. 2018-92, Approving a Conditional Use Permit for Outdoor Storage of a Fuel Tank at 20500 David Koch Avenue.
- Approval of Resolution No. 2018-93, Approving a Variance from City Code to Allow for a Reduction in Parking Space and Parking Islands at 20500 David Koch Avenue.
- Approval of Resolution No. 2018-94, Approving a Sign Standards Adjustment to Allow the Relocation of the North Elevation Wall Sign to the West Wall Elevation.
- Approval of Developer's Agreement (added at the meeting)

7.2 Items Relating to a Request from I-State Rogers, LLC:

- Approval of Resolution No. 2018-95, Approving a Preliminary and Final Plat for Interstate of Rogers.
- Approval of Ordinance No. 2018-08, Approving the Rezoning of a 10-Acre Parcel on County Road 81, PID #25-120-23-21-0004, from Special Industry (S-I) to Limited Industry (L-I) and authorize the publication of Summary Ordinance No. 2018-08

7.3 Items Relating to a Request from Primrose Schools Franchising Company:

- Approve Resolution No. 2018-96, Approving the Preliminary and Final Plat for Walter Dehn Commerce Center 7th Addition.
- Approve Resolution No. 2018-97, Approving the Site Plan Primrose School of Rogers.
- Approve Resolution No. 2018-98, Approving a Variance from City Code Allowing a Reduction in Setback Requirements for Building Area and Landscape Area.

7.4 Authorize the Hire of Machell Bentley as the Police Administrative Assistant

7.5 Approval of Deputy Clerk/Communications Coordinator Position Description and Authorize Hiring Paul Byun to the Position

7.6 Discussion on Transfer Title of the 1950 Chevrolet Fire Truck from the City of Rogers to the Rogers Volunteer Fire Auxilliary

8. OTHER BUSINESS

9. CORRESPONDENCE AND REPORTS

9.1 September 2018 Financial Reports

9.2 Park Board Minutes - September 2018

10. ADJOURN

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.1

Subject: Approval of the October 9, 2018 City Council Meeting Minutes

Prepared By: Stacy Scharber, Assistant City Administrator

Recommended City Council Action

Motion to approve the October 9, 2018 City Council Meeting minutes.

ATTACHMENTS:

Description

10092018 Minutes

1. Call to Order. The regular meeting of the City Council of the City of Rogers was called to order by Mayor Ihli on Tuesday, October 9, 2018 at 7:00 p.m. at Rogers Community Center, 21201 Memorial Drive, Rogers, MN, 55374.

Council present: Mark Eiden, Bruce Gorecki, Rick Ihli, Shannon Klick, and Darren Jakel.

Staff present: Jeff Beahen, Police Chief; Gary Buysse, Liquor Operations Director; Paul Byun, Intern; Jeff Carson, City Attorney; Lisa Herbert, Finance Director; Stacy Scharber, Assistant City Administrator; John Seifert, Public Works Director; Steve Stahmer, and City Administrator; Bret Weiss, City Engineer.

2. Open Forum
None.

3. Presentations
None.

4. Approve Agenda
The agenda was set as submitted.

5. Consent Agenda

- **5.1** Approval of the September 25, 2018 City Council Meeting Minutes
- **5.2** Approval of Bills and Claims
- **5.3** Authorize Execution of Land Exchange and Purchase Agreement with D & M Scherber Family Limited Partnership
- **5.4** Approval of the Public Space Recycling Grant
- **5.5** Award Project to Federal Signal Corporation and Ready Watt Electric to install (1) Outdoor Warning Siren
- **5.6** Setting a Budget Workshop of the City Council for Tuesday, October 16, 2018 at 6:00 p.m. at the Rogers Police Department, 21860 Industrial Court, Rogers, MN
- **5.7** Approve FIREHOUSE Cloud Software agreement with ESO Solutions, Inc.
- **5.8** Request to Purchase Computer Server Replacement
- **5.9** Approval of LiveBarn Contract for the Activity Center
- **5.10** Approval of Tegrete Cleaning Contract for Senior Center
- **5.11** Approval of the Land Exchange and Assessment Agreement for MLG Properties
- **5.12** Approval of State of Minnesota Grant Contract Between the City of Rogers and DEED Related to Graco Expansion
- **5.13** Approval of Resolution No. 2018 - 82, A Resolution Amending Resolution No. 2007-73, Providing for Designation of Special Assessment as Pending (Dale and Marlene Scherber Family Limited Partnership)

A member of the public audience asked what the LiveBarn contract is.
Public Works Director Seifert explained that this contract is a service where people, such as friends and family members who cannot attend the event, can pay for a subscription and watch hockey games through a live video stream.

Eiden moved, Klick seconded a motion to approve the consent agenda. Motion carried 5-0.

6. Public Hearings

6.1 Public Hearing to Consider the Vacation of Excess Road Right-of-Way as a Part of the Industrial Boulevard Extension Project

Public Works Director Seifert addressed the Council, stating staff has identified that a previous road right-of-way easement was filed over an existing city owned property. After review of the needs of the public roadway system, the city staff has recommended and Council has considered a land exchange for the extension of Industrial Boulevard to County Road 144. In order to accomplish the exchange, the City will first need to hold a public hearing to formally vacate excess road right-of-way that will be exchanged to accomplish the new road alignment.

Mayor Ihli opened the public hearing at 7:02 p.m. No persons addressed the Council.

Ihli moved, Jakel seconded a motion to close the public hearing at 7:03 p.m. Motion carried 5-0.

Gorecki moved, Eiden seconded a motion to approve Resolution No. 2018 - 83, A Resolution Vacating Excess Road Right-of-Way as part of the Industrial Boulevard Extension Project. Motion carried 5-0.

7. General Business

7.1 Items Relating to the Fire Department

7.1.1 Authorization to Hire Three Paid-On-Call Firefighters

Chief Feist explained that Joel Ende, Brian Willegalle, and Keith Diers have completed their physical examination, background check, and psychological examination.

Gorecki moved, Klick seconded a motion to hire Keith Diers, Joel Ende, and Brian Willegalle as Paid-On-Call Firefighters. Motion carried 5-0.

7.1.2 Appointment of Walter Knapp to the Position of Captain 22 and Dan Scharber to the Position of Lieutenant 22

Chief Feist discussed that shifting in the department has given way to positions opening up. Feist stated Wally Knapp has been a member of the Rogers Fire Department since July 20, 1999 and has held the position of Lieutenant 21 since September 24, 2013. Also, Dan Scharber has been a member of the Rogers Fire Department since May 20, 2003 and has been an active member on three fire truck committees.

Eiden moved, Jakel seconded a motion to appoint Walter Knapp to the Position of Captain 22 and Dan Scharber to the Position of Lieutenant 22. Motion carried 5-0.

Mayor Ihli thanked the firefighters for their hard work.

7.2 Approval of Senior Professional Engineer Position Description

Administrator Stahmer addressed the Council on the existing Civil Project Engineer position, stating that approval would do two things:

1. Approve the revised position description
2. Authorize staff to make an offer to the current incumbent in the position.

Stahmer explained, if incumbent declines offer, then staff would reconsider the job duties and salary grade. The currently shared position will end on January 1, 2019 with St. Michael.

Eiden stated, this is a cost-benefit to the City.

Klick asked if we would go for a college graduate if the incumbent declines.

Stahmer explained that the college graduate would need to meet the qualifications of a Professional Engineer.

Gorecki asked if the position states the salary grade and if they would have to redo it if the incumbent declines. Staff confirmed we would keep the existing position description of Civil Project Engineer.

Jakel moved, Gorecki seconded a motion to approve the Senior Professional Engineer position description and to authorize staff to extend an offer of promotion to the existing Civil Project Engineer. Motion carried 5-0.

7.3 Discussion and Consideration of Intergovernmental Agreement with Met Council Environmental Services (MCES) Related to wastewater treatment Services/Facilities

Council and staff discussed items related to the City of Rogers comprehensive sewer plan and the Metropolitan Council Environmental Services future regional waste water services.

Seifert stated Rogers is one of the last cities to receive wastewater treatment in this area. Seifert highlighted the following:

1. Rogers Wastewater Treatment Plant
    a. Rogers owned and operated since 1960
2. Overview Locations
3. Rogers 2030 Approved Comprehensive Sewer Plan
    a. Last update in 2016: areas surrounded by railroad- connected to Dayton eventually
4. Met Council and Three Rivers Park District Land Exchange
    a. Looking for support in comprehensive plan
5. Intergovernmental Agreement
    a. Path forward would be City of Rogers sending draft to Met Council
    b. Need a signed resolution to MCES requesting acquisition

Seifert explained the City will receive a flat bill from MCES, once they take over the facility.

Stahmer commented, we should keep building on that momentum and keep the ball rolling on the project.

Scharber stated, this approval would give authorization for staff and attorneys on both sides to move forward with an agreement.

Jakel moved, Eiden seconded a motion to approve the Discussion and Consideration of Intergovernmental Agreement with Met Council Environmental Services Related to wastewater treatment Services/Facilities. Motion carried 5-0.

8. Other Business

9. Correspondence and Reports

9.1 August 2018 Financial Reports

9.2 Transportation Task Force Meeting Minutes

No action taken.

10. Adjourn

Mayor Ihli adjourned the meeting at 7:38 p.m.

Respectfully submitted,

Stacy Scharber
Assistant City Administrator/Clerk

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.2

Subject: Approval of Bills and Claims

Prepared By: Lisa L. Herbert, Finance Director

Recommended City Council Action
Motion to approve bills and claims as presented.

Staff Recommendation
Motion to approve bills and claims as presented.

ATTACHMENTS:

Description

Accounts Payable Cover Sheet
10-15-18 City Manual Check #73037 CenterPoint Energy
10-23-18 City Accounts Payable
10-23-18 Liquor Accounts Payable
September 2018 Purchasing Card Allocations

10-23-2018 CITY COUNCIL MEETING
CITY OF ROGERS OPERATING ACCOUNTS - ADDITIONAL CLAIMS PAID/TO BE PAID

City Payroll Checks, Taxes & Misc Fees Paid

10/11/2018	ADP Child Support/Garnishment	706.06
10/11/2018	ADP Direct Deposits	125,749.23
10/11/2018	ADP Payroll Taxes	42,196.25
10/5/2018	Electronic PERA	31,842.21
10/15/2018	MN Deferred Compensation	2,365.00
10/10/2018	Optum Health Plan Fund	4,644.68
10/15/2018	State of MN Health Care	967.86
10/5/2018	ADP Fees	507.07
10/9/2018	Payment Services Network Processing Fees	491.94
	Payroll & Misc Fee Expenditures	209,470.30

City Manual Checks Paid

10/15/2018	Manual Check #73037 CenterPoint Energy	534.49
	Manual Check Expenditures	534.49

City Misc Ach/Wires Paid

9/27/2018	US Bank Credit Cards - September 2018	20,991.40
10/16/2018	Building Permit Surcharge	11,150.55
10/16/2018	MNDOR - City Sales Tax	1,549.00
10/15/2018	MNDOR - Water Sales Tax	3,559.00
	ACH/Wire Expenditures	37,249.95

Accounts Payable Checks:

2018 City Accounts Payable paid 10-23-2018	244,581.41
City Total To Be Approved	**491,836.15**

Liquor Misc Ach/Wires Paid

10/15/2018	MNDOR - Liquor Sales Tax	28,332.00
		28,332.00

Accounts Payable Checks:

2018 Liquor Accounts Payable paid 10-23-2018	115,999.77
Liquor Total to Be Approved	**144,331.77**

Accounts Payable

Computer Check Proof List by Vendor

User: bbruska
Printed: 10/15/2018 - 7:56AM
Batch: 00003.10.2018

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
Vendor: cenen	CenterPoint Energy Resources Corp.			Check Sequence: 1	ACH Enabled: False
5393442-8	Hassan Town Hall - Sept 2018	49.00	10/15/2018	100-410-1940-43830-0000	
5444068-0	Fire Dept - Sept 2018	111.45	10/15/2018	100-420-2210-43830-0000	
5444068-0	Community Room - Sept 2018	141.84	10/15/2018	100-410-1941-43830-0000	
5484240-6	WWTF - Sept 2018	43.77	10/15/2018	602-495-9490-43830-0000	
5490566-6	Public Works - Sept 2018	102.48	10/15/2018	100-430-3000-43830-0000	
5490566-6	City Hall - Sept 2018	43.93	10/15/2018	100-410-1940-43830-0000	
5542017-8	Senior Center - Sept 2018	42.02	10/15/2018	100-450-5186-43830-0000	
	Check Total:	534.49			
	Total for Check Run:	534.49			
	Total of Number of Checks:	1			

Accounts Payable

Computer Check Proof List by Vendor

User: bbruska
Printed: 10/18/2018 - 9:42AM
Batch: 00004.10.2018

Invoice No		Description	Amount	Payment Date	Acct Number	Reference
Vendor:	a1out	A-1 Outdoor Power, Inc.			Check Sequence: 1	ACH Enabled: False
429380		Tailgate Loader, etc	869.38	10/23/2018	100-430-3000-42105-0000	
429380		Tailgate Loader, etc	2,608.16	10/23/2018	100-450-5200-42105-0000	
		Check Total:	3,477.54			
Vendor:	aaast	AAA Striping Service Co., Inc.			Check Sequence: 2	ACH Enabled: False
105893		2018 Striping- Crosswalk and Parking Lot Paint	592.40	10/23/2018	100-430-3121-44050-0000	
		Check Total:	592.40			
Vendor:	aflac	AFLAC			Check Sequence: 3	ACH Enabled: False
712313		EE Paid Insurance Premiums - October 2018	1,570.56	10/23/2018	100-000-0000-21751-0000	
		Check Total:	1,570.56			
Vendor:	aleai	Alex Air Apparatus, Inc.			Check Sequence: 4	ACH Enabled: False
37928		(3) Thermal Imaging Cameras	12,520.00	10/23/2018	403-420-2210-45800-0000	
		Check Total:	12,520.00			
Vendor:	ancso	Anchor Solar Investments, LLC			Check Sequence: 5	ACH Enabled: False
Rogers-PD 20		Power Purchase Payment	156.70	10/23/2018	100-420-2100-43810-0000	
		Check Total:	156.70			
Vendor:	aspmi	Aspen Mills			Check Sequence: 6	ACH Enabled: False
22444		Name Tag	14.85	10/23/2018	100-420-2210-42180-0000	
		Check Total:	14.85			
Vendor:	banko	Ban-Koe Co			Check Sequence: 7	ACH Enabled: False
85915		3 IP Cameras	1,910.95	10/23/2018	205-450-5205-42105-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	1,910.95			
Vendor: borst	Border States Industries, Inc.			Check Sequence: 8	ACH Enabled: False
916144828	HVAC Supplies	272.38	10/23/2018	100-430-3000-42102-0000	
916202078	Outdoor Light	97.44	10/23/2018	609-497-9770-42102-0000	
916269618	Electrical Supplies	320.71	10/23/2018	100-410-1940-42102-0000	
	Check Total:	690.53			
Vendor: boytr	Boyer Ford Trucks, Inc.			Check Sequence: 9	ACH Enabled: False
53989R	Parts	138.80	10/23/2018	100-430-3121-42103-0000	
53989RX1	Parts	15.24	10/23/2018	100-430-3122-42103-0000	
54013R	ABS Valve	348.01	10/23/2018	100-430-3121-42103-0000	
54164R	Parts	34.62	10/23/2018	100-430-3121-42103-0000	
	Check Total:	536.67			
Vendor: ers	Brian Bramley			Check Sequence: 10	ACH Enabled: False
11755	Front for Fire Helmet (Qty. 2)	164.11	10/23/2018	100-420-2210-42106-0000	
11798	SCBA Mask Bags (Qty. 8)	202.33	10/23/2018	100-420-2210-42105-0000	
	Check Total:	366.44			
Vendor: burto	Burda's Towing LLC			Check Sequence: 11	ACH Enabled: False
18-29824	Vehicle Tow on 10/9/2018 - 1999 Jeep Cherokee	200.00	10/23/2018	100-420-2100-43100-0000	
	Check Total:	200.00			
Vendor: cdwgo	CDW Government			Check Sequence: 12	ACH Enabled: False
B08966644	Desk Scanner for PT PD Admin Desk	336.00	10/23/2018	100-420-2100-42010-0000	
PJT1093	Computer Monitor/Arm - Bruska	297.64	10/23/2018	100-410-1520-42010-0000	
PJT1093	Wireless Mouse - Breseman	25.97	10/23/2018	100-410-1520-42010-0000	
PKZ7697	Operating Supplies - Paper for Squad Car	193.20	10/23/2018	100-420-2100-42100-0000	
PMH5223	New Antenna for Squad 6844	261.59	10/23/2018	100-420-2100-42103-0000	
PNB1677	Utility Billing Scanner	44.04	10/23/2018	603-496-9495-42010-0000	
PNB1677	Utility Billing Scanner	44.05	10/23/2018	601-494-9440-42010-0000	
PNB1677	Utility Billing Scanner	44.05	10/23/2018	602-495-9490-42010-0000	
PND9975	Monitor & Stand	308.43	10/23/2018	100-430-3000-42010-0000	
	Check Total:	1,554.97			
Vendor: centro	Centro Print Solutions			Check Sequence: 13	ACH Enabled: False
216749	1099 Forms for 2018	137.10	10/23/2018	100-410-1520-42000-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	137.10			
Vendor: chebri	Brian Chenvert			Check Sequence: 14	ACH Enabled: False
13673 Superior	Escrow Refund - 13673 Superior Court	5,249.00	10/23/2018	100-000-0000-22030-0000	
	Check Total:	5,249.00			
Vendor: cinco	Cintas Corporation			Check Sequence: 15	ACH Enabled: False
4010492554	Mats and Towels PW	56.72	10/23/2018	100-430-3000-44060-0000	
4010492554	Uniforms SWR	5.02	10/23/2018	602-495-9490-42180-0000	
4010492554	Uniforms PW	31.35	10/23/2018	100-430-3000-42180-0000	
4010492554	Uniforms PK	13.53	10/23/2018	100-450-5200-42180-0000	
4010492554	Uniforms Wtr	5.02	10/23/2018	601-494-9440-42180-0000	
4010492569	Rug Service for the Police Department	16.68	10/23/2018	100-420-2100-44060-0000	
4010727509	Uniforms - SWR	5.02	10/23/2018	602-495-9490-42180-0000	
4010727509	Uniforms - WTR	5.02	10/23/2018	601-494-9440-42180-0000	
4010727509	Uniforms - PW	16.24	10/23/2018	100-430-3000-42180-0000	
4010727509	Uniforms - PK	13.53	10/23/2018	100-450-5200-42180-0000	
4010888295	Mats CR	10.88	10/23/2018	100-410-1941-44060-0000	
	Check Total:	179.01			
Vendor: citli	Citi Lites, Inc.			Check Sequence: 16	ACH Enabled: False
059286	Locates	100.00	10/23/2018	603-496-9495-43150-0000	
059347	Locates	210.00	10/23/2018	603-496-9495-43150-0000	
	Check Total:	310.00			
Vendor: citmo	City of Monticello			Check Sequence: 17	ACH Enabled: False
21383	Animal Pickup - August (3 Animals)	456.00	10/23/2018	100-420-2700-43100-0000	
	Check Total:	456.00			
Vendor: comas	Commercial Asphalt Co			Check Sequence: 18	ACH Enabled: False
180930	Patching Mix	54.06	10/23/2018	100-430-3121-42240-0000	
	Check Total:	54.06			
Vendor: mnpip	Core & Main LP			Check Sequence: 19	ACH Enabled: False
J593569	1.5" R11G8GA R2 Meters	1,108.80	10/23/2018	601-494-9440-42150-0000	
	Check Total:	1,108.80			
Vendor: corco	Corporate Connection			Check Sequence: 20	ACH Enabled: False

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
49203	Clothing	57.90	10/23/2018	100-430-3000-42180-0000	
49203	Clothing	71.85	10/23/2018	100-410-1950-42180-0000	
49204	Clothing	157.70	10/23/2018	100-410-1950-42180-0000	
49204	Clothing	198.65	10/23/2018	100-430-3000-42180-0000	
49204	Clothing	98.85	10/23/2018	603-496-9495-42180-0000	
	Check Total:	584.95			
Vendor: napau	Cottens' Inc.			Check Sequence: 21	ACH Enabled: False
0595663	U- Joint	15.29	10/23/2018	602-495-9490-42103-0000	
0600620	Fittings	24.02	10/23/2018	100-430-3121-42103-0000	
060252	Rivets	25.23	10/23/2018	100-430-3000-42100-0000	
060539	Sealed Beams	15.60	10/23/2018	100-430-3121-42103-0000	
061090	Lubricants	19.02	10/23/2018	602-495-9490-42104-0000	
	Check Total:	99.16			
Vendor: decsa	Decimet Sales, Inc.			Check Sequence: 22	ACH Enabled: False
189152	Rail Gusset	151.20	10/23/2018	205-450-5205-42102-0000	
	Check Total:	151.20			
Vendor: docjo	John Dockendorf			Check Sequence: 23	ACH Enabled: False
13538 Basswood	Escrow Refund - 13538 Basswood Ln	4,350.00	10/23/2018	100-000-0000-22030-0000	
	Check Total:	4,350.00			
Vendor: ecmpu	ECM Publishers, Inc.			Check Sequence: 24	ACH Enabled: False
637244	Shred - N - Go CUP	52.78	10/23/2018	100-410-1910-43520-0000	
637245	Ordinance No. 2018-07	67.86	10/23/2018	100-410-1325-43520-0000	
637246	Assessment Hearing	111.21	10/23/2018	601-494-9440-43520-0000	
637246	Assessment Hearing	111.21	10/23/2018	100-430-3245-43520-0000	
637246	Assessment Hearing	111.22	10/23/2018	602-495-9490-43520-0000	
637246	Assessment Hearing	111.22	10/23/2018	603-496-9495-43520-0000	
637247	Prel Plat, CUP + Var (2)	52.78	10/23/2018	100-410-1910-43520-0000	
637248	Prel Plat & Rezoning (2)	45.24	10/23/2018	100-410-1910-43520-0000	
	Check Total:	663.52			
Vendor: facmo	Elliot Auto Supply Co, Inc.			Check Sequence: 25	ACH Enabled: False
128-048876	Oil & Fuel Filters	10.89	10/23/2018	602-495-9490-42103-0000	
128-048876	Oil & Fuel Filters	10.89	10/23/2018	601-494-9440-42103-0000	
128-049534	Brake Kit, Rotor Assy, Wheel Bearing & Hub A:	285.26	10/23/2018	100-420-2100-42103-0000	
128-049680	Oil Seal	9.65	10/23/2018	100-420-2100-42103-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
128-049766	Radial Seal	36.46	10/23/2018	100-430-3121-42103-0000	
128-049922	Sensor	54.17	10/23/2018	100-420-2100-42103-0000	
128-Z04177	Battery Core Credits	-25.00	10/23/2018	100-430-3122-42103-0000	
128-Z04267	Battery for Rescue 11	82.95	10/23/2018	100-420-2100-42103-0000	
1-5729810	Air Filter	39.68	10/23/2018	100-430-3122-42103-0000	
	Check Total:	504.95			
Vendor: endse	Ende Septic Service			Check Sequence: 26	ACH Enabled: False
21688	Sewer Pumping - Sept.	1,600.00	10/23/2018	602-495-9490-43100-0000	
	Check Total:	1,600.00			
Vendor: enfli	Enforcement Lighting			Check Sequence: 27	ACH Enabled: False
5/8/2018	Pd Vehicle Repairs - Squad #6843/K9	1,350.00	10/23/2018	100-420-2100-44040-0000	
	Check Total:	1,350.00			
Vendor: expse	Express Services, Inc.			Check Sequence: 28	ACH Enabled: False
21226057	Front Desk Temp - Peri Houser	156.03	10/23/2018	100-410-1950-43100-0000	
21226057	Front Desk Temp - Peri Houser	156.03	10/23/2018	100-430-3000-43100-0000	
21226057	Front Desk Temp - Peri Houser	156.03	10/23/2018	601-494-9440-43100-0000	
21226057	Front Desk Temp - Peri Houser	156.02	10/23/2018	602-495-9490-43100-0000	
21226057	Front Desk Temp - Peri Houser	156.02	10/23/2018	603-496-9495-43100-0000	
21268863	Front Desk Temp - Peri Houser	156.02	10/23/2018	100-410-1950-43100-0000	
21268863	Front Desk Temp - Peri Houser	156.02	10/23/2018	100-430-3000-43100-0000	
21268863	Front Desk Temp - Peri Houser	156.03	10/23/2018	601-494-9440-43100-0000	
21268863	Front Desk Temp - Peri Houser	156.03	10/23/2018	603-496-9495-43100-0000	
21268863	Front Desk Temp - Peri Houser	156.03	10/23/2018	602-495-9490-43100-0000	
	Check Total:	1,560.26			
Vendor: fasco	Fastenal Company Inc.			Check Sequence: 29	ACH Enabled: False
MNTC4144110	Hardware	64.50	10/23/2018	100-430-3121-42260-0000	
	Check Total:	64.50			
Vendor: feren	Ferguson Enterprises, Inc.			Check Sequence: 30	ACH Enabled: False
6052679	Split Ring Hanger and Plate	13.40	10/23/2018	100-430-3000-42102-0000	
	Check Total:	13.40			
Vendor: cryca	Finken Water & Crystal Canyon, Inc			Check Sequence: 31	ACH Enabled: False
362244	Water	58.96	10/23/2018	100-430-3000-43820-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	58.96			
Vendor: finwa	Finken Water Centers			Check Sequence: 32	ACH Enabled: False
1111111	Water Softener Rental - October	18.00	10/23/2018	100-410-1325-42100-0000	
	Check Total:	18.00			
Vendor: frare	Franz Reprographics			Check Sequence: 33	ACH Enabled: False
0000181305	Copier/ Plotter - Sept	71.45	10/23/2018	602-495-9490-44120-0000	
0000181305	Copier/ Plotter - Sept	71.44	10/23/2018	601-494-9440-44120-0000	
	Check Total:	142.89			
Vendor: marso	Marc Frederickson			Check Sequence: 34	ACH Enabled: False
1708	Replace Piston, Seals & Spacers in Water Soften	266.50	10/23/2018	100-430-3000-44010-0000	
1710	Softener Salt	208.50	10/23/2018	205-450-5205-43820-0000	
	Check Total:	475.00			
Vendor: selac	Further			Check Sequence: 35	ACH Enabled: False
1286704	October Participant Fee	13.50	10/23/2018	100-410-1325-43015-0000	
	Check Total:	13.50			
Vendor: gopst	Gopher State One-Call , Inc.			Check Sequence: 36	ACH Enabled: False
8090692	Locates	195.07	10/23/2018	602-495-9490-43150-0000	
8090692	Locates	195.08	10/23/2018	601-494-9440-43150-0000	
	Check Total:	390.15			
Vendor: greje	Jessica Gregg			Check Sequence: 37	ACH Enabled: False
10/12/18	Damage Deposit Refund	400.00	10/23/2018	100-000-0000-22000-0000	
	Check Total:	400.00			
Vendor: hassa	Hassan Sand & Gravel, Inc.			Check Sequence: 38	ACH Enabled: False
122624	1.5" River Rock	323.70	10/23/2018	601-494-9440-42104-0000	
122785	Topsoil	52.50	10/23/2018	100-430-3124-42104-0000	
122863	Drainage Rock & 1.5" Rock	1,628.64	10/23/2018	603-496-9495-42104-0000	
122887	Con- Bit Recycled Class 5	680.80	10/23/2018	601-494-9440-42104-0000	
123005	Fill Sand	337.20	10/23/2018	404-450-5200-45300-1809	
123047	Fill Sand	406.50	10/23/2018	404-450-5200-45300-1809	
123093	Fill Sand & Con-Bit Recycled Class 5	476.50	10/23/2018	404-450-5200-45300-1809	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	3,905.84			
Vendor: heapar	Health Partners			Check Sequence: 39	ACH Enabled: False
84612851	November EE Paid Health Insurance	1,859.41	10/23/2018	100-410-1950-41310-0000	
84612851	November EE Paid Health Insurance	17,381.62	10/23/2018	100-420-2100-41310-0000	
84612851	November EE Paid Health Insurance	4,935.44	10/23/2018	100-430-3000-41310-0000	
84612851	November EE Paid Health Insurance	1,735.44	10/23/2018	100-410-1330-41310-0000	
84612851	November EE Paid Health Insurance	1,189.65	10/23/2018	100-420-2210-41310-0000	
84612851	November EE Paid Health Insurance	2,164.65	10/23/2018	603-496-9495-41310-0000	
84612851	November EE Paid Health Insurance	2,936.90	10/23/2018	601-494-9440-41310-0000	
84612851	November EE Paid Health Insurance	1,171.59	10/23/2018	100-410-1520-41310-0000	
84612851	November EE Paid Health Insurance	1,282.62	10/23/2018	609-497-9760-41310-0000	
84612851	November EE Paid Health Insurance	371.88	10/23/2018	100-450-5120-41310-0000	
84612851	November EE Paid Health Insurance	188.28	10/23/2018	100-430-3245-41310-0000	
84612851	November EE Paid Health Insurance	2,106.35	10/23/2018	100-410-1325-41310-0000	
84612851	November EE Paid Health Insurance	1,048.03	10/23/2018	100-410-1910-41310-0000	
84612851	November EE Paid Health Insurance	192.61	10/23/2018	100-410-1940-41310-0000	
84612851	November EE Paid Health Insurance	283.25	10/23/2018	100-450-5186-41310-0000	
84612851	November EE Paid Health Insurance	6,963.50	10/23/2018	100-000-0000-21706-0000	
84612851	November EE Paid Health Insurance	3,167.01	10/23/2018	100-450-5200-41310-0000	
84612851	November EE Paid Health Insurance	2,925.58	10/23/2018	602-495-9490-41310-0000	
84612851	November EE Paid Health Insurance	538.52	10/23/2018	609-497-9770-41310-0000	
84612851	November EE Paid Health Insurance	1,868.42	10/23/2018	205-450-5205-41310-0000	
84612851	November EE Paid Health Insurance	283.25	10/23/2018	100-410-1941-41310-0000	
	Check Total:	54,594.00			
Vendor: heljo	Hellmuth & Johnson PLLC			Check Sequence: 40	ACH Enabled: False
333947	Fletcher Bypass QTA Matters	968.82	10/23/2018	450-465-6500-43040-0000	
	Check Total:	968.82			
Vendor: hecointe	Henn. Co. Info. Tech. Dept.			Check Sequence: 41	ACH Enabled: False
1000117070	Radio Lease	3,101.90	10/23/2018	100-420-2210-43250-0000	
1000117071	Radio Rental and MDC Connection Fees - Sept 2	2,839.30	10/23/2018	100-420-2100-44120-0000	
1000117111	Radio Fleet Fee	243.12	10/23/2018	100-430-3000-43250-0000	
	Check Total:	6,184.32			
Vendor: henpu	Hennepin Cnty Recorder			Check Sequence: 42	ACH Enabled: False
1000116501	RES 2018-70 Variance Glad	46.00	10/23/2018	100-410-1325-44310-8150	
1000116501	RES 2018-72 CUP Amend Darrell Anderson	46.00	10/23/2018	100-410-1325-44310-8150	
1000116501	RES 2018-71 Site Plan Darrell Anderson 20195	46.00	10/23/2018	100-410-1325-44310-8150	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
1000116501	RES 2018-61 Site Plan Amend MQP - Torrens &	102.00	10/23/2018	100-410-1325-44310-8150	
	Check Total:	240.00			
Vendor: henat	Hennepin County Attorney's Office			Check Sequence: 43	ACH Enabled: False
10/15/18	Property Receipt Forms	20.00	10/23/2018	100-420-2100-43500-0000	
	Check Total:	20.00			
Vendor: hecoas	Hennepin County Treasurer			Check Sequence: 44	ACH Enabled: False
1000116491	Hennepin County Jail - Per Diem / Processing Fe	525.00	10/23/2018	100-420-2100-43100-0000	
	Check Total:	525.00			
Vendor: hilin	Hillyard, Inc - Minneapolis			Check Sequence: 45	ACH Enabled: False
603145062	Enmotion Towels	152.81	10/23/2018	100-410-1325-42100-0000	
	Check Total:	152.81			
Vendor: iacp	IACP			Check Sequence: 46	ACH Enabled: False
33350	2019 IACP Net Service Acess - 12/30/18-12/29/1	420.00	10/23/2018	100-420-2100-44330-0000	
	Check Total:	420.00			
Vendor: innof	Innovative Office Solutions LLC			Check Sequence: 47	ACH Enabled: False
IN2158226	Pens, Sharpies, Clips, Etc	126.81	10/23/2018	100-430-3000-42000-0000	
IN2206239	Tape, Markers, Calculator, Hanging Folders, etc	94.78	10/23/2018	100-430-3000-42000-0000	
IN2223776	Toner, Envelopes, Organizer, Note Pads, Etc	213.59	10/23/2018	100-430-3000-42000-0000	
IN2233092	Ink Stamps, Ruled Pads	68.54	10/23/2018	100-430-3000-42000-0000	
IN2238993	Bankers File Storage Boxes	65.23	10/23/2018	100-430-3000-42000-0000	
	Check Total:	568.95			
Vendor: kanpa	Paul Kangas			Check Sequence: 48	ACH Enabled: False
Oct. 2018	Refund Escrow for Hisco Appreciation	750.00	10/23/2018	100-000-0000-22004-0000	
	Check Total:	750.00			
Vendor: konin	KONE Inc			Check Sequence: 49	ACH Enabled: False
959058087	Maintenance Agreement RAC - Oct	121.78	10/23/2018	205-450-5205-44010-0000	
959058087	Maintenance Agreement PW - Oct	121.78	10/23/2018	100-410-1940-44010-0000	
959058088	Maintenance Agreement Police - Oct	127.23	10/23/2018	100-420-2100-44010-0000	
	Check Total:	370.79			

Invoice No		Description	Amount	Payment Date	Acct Number	Reference
Vendor:	kripr	Kriss Premium Products, Inc			Check Sequence: 50	ACH Enabled: False
158491		Cooling Tower Chemicals	568.75	10/23/2018	205-450-5205-42160-0000	
		Check Total:	568.75			
Vendor:	tirpl	Lags Tires Inc.			Check Sequence: 51	ACH Enabled: False
183919		Alignment	59.99	10/23/2018	100-420-2100-44040-0000	
		Check Total:	59.99			
Vendor:	crori	Wayne A Lahn			Check Sequence: 52	ACH Enabled: False
190592		32" Crow Bar	50.18	10/23/2018	100-430-3000-42100-0000	
		Check Total:	50.18			
Vendor:	leamn	League of MN Cities			Check Sequence: 53	ACH Enabled: False
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	603-496-9495-42010-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-410-1325-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-410-1330-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-410-1520-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-410-1325-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-430-3000-42010-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-420-2210-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-410-1520-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	17.75	10/23/2018	602-495-9490-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-420-2100-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-430-3000-42010-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-430-3000-42010-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	17.75	10/23/2018	603-496-9495-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-410-1325-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	364.50	10/23/2018	100-410-1910-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	17.75	10/23/2018	601-494-9440-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	603-496-9495-42010-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-410-1520-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-410-1330-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-410-1950-43190-0000	
283137		18 Adobe Acrobat and 1 Adobe Illustrator Licen:	53.25	10/23/2018	100-410-1325-43190-0000	
		Check Total:	1,323.00			
Vendor:	lyn&mc	Lynde & McLeod, Inc			Check Sequence: 54	ACH Enabled: False
I017955		Fortified Black Dirt	100.00	10/23/2018	100-450-5200-42100-0000	
I017963		Yard Waste Disposal - Leaves/Grass, Brush - Sep	2,138.84	10/23/2018	100-430-3260-43100-0000	
I017972		Yard Waste Site Rental - Nov	547.70	10/23/2018	100-430-3260-43100-0000	

Invoice No		Description	Amount	Payment Date	Acct Number	Reference
		Check Total:	2,786.54			
Vendor:	marqu	Mary Queen of Peace			Check Sequence: 55	ACH Enabled: False
Oct. 2018		Refund Escrow for Parish Festival	750.00	10/23/2018	100-000-0000-22004-0000	
		Check Total:	750.00			
Vendor:	menar	Menards, Inc.			Check Sequence: 56	ACH Enabled: False
30167		Misc. Maintenance Supplies	61.45	10/23/2018	100-410-1940-42102-0000	
30271		4" Corrugated Tubing	173.16	10/23/2018	404-450-5200-42100-0000	
		Check Total:	234.61			
Vendor:	minva	Minnesota Valley Testing Labs, Inc			Check Sequence: 57	ACH Enabled: False
940743		WWTP Testing	163.20	10/23/2018	602-495-9490-44080-0000	
941376		WWTP Testing	100.80	10/23/2018	602-495-9490-44080-0000	
941378		WWTP Testing	244.00	10/23/2018	602-495-9490-44080-0000	
941638		WWTP Testing	129.60	10/23/2018	602-495-9490-44080-0000	
942582		WWTP Testing	100.80	10/23/2018	602-495-9490-44080-0000	
		Check Total:	738.40			
Vendor:	mass	%Lacelle Cordes MN Assn of Senior Svcs/MRP/			Check Sequence: 58	ACH Enabled: False
10/1/18		Annual Dues Oct- Dec	6.25	10/23/2018	100-450-5186-44330-0000	
10/1/18		Annual Dues Jan - Sept	18.75	10/23/2018	100-000-0000-15500-0000	
		Check Total:	25.00			
Vendor:	schso	MN Equipment Inc.			Check Sequence: 59	ACH Enabled: False
F1486		Base Compact Rental	200.00	10/23/2018	602-495-9490-44100-0000	
		Check Total:	200.00			
Vendor:	munco	Municipal Code Corporation			Check Sequence: 60	ACH Enabled: False
00317794		Annual Code Internet Fee (Oct.-Dec 2018)	125.00	10/23/2018	100-410-1325-43140-0000	
00317794		Annual Code Internet Fee (Jan. - Sept. 2019)	375.00	10/23/2018	100-000-0000-15500-0000	
		Check Total:	500.00			
Vendor:	natte	National Testing Network			Check Sequence: 61	ACH Enabled: False
5283		Annual Membership - National Testing & Recrui	750.00	10/23/2018	100-420-2100-44330-0000	
		Check Total:	750.00			

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
Vendor: nettra	NetTranscripts Inc.			Check Sequence: 62	ACH Enabled: False
0020820-IN	Contracted Services - Transcriptions (18002771)	121.49	10/23/2018	100-420-2100-43100-0000	
	Check Total:	121.49			
Vendor: norcou	North Country Tree Solutions			Check Sequence: 63	ACH Enabled: False
1111	Remove Tree Branch Hanging From Storm	175.00	10/23/2018	100-450-5200-43100-0000	
	Check Total:	175.00			
Vendor: norfe	Northridge Fellowship			Check Sequence: 64	ACH Enabled: False
Oct.2018	Refund Escrow for Community Block Party	750.00	10/23/2018	100-000-0000-22004-0000	
	Check Total:	750.00			
Vendor: nwhle	NW Henn. League of Municipalities			Check Sequence: 65	ACH Enabled: False
October	Annual Membership Dues for 2019	200.00	10/23/2018	100-000-0000-15500-0000	
	Check Total:	200.00			
Vendor: offde	Office Depot			Check Sequence: 66	ACH Enabled: False
208884112001	USB Flashdrives	334.50	10/23/2018	100-420-2100-42000-0000	
212084901001	Boxes, Stapler, Utility Tray, Scissors, Highlighte	62.16	10/23/2018	100-410-1520-42000-0000	
212084901001	Highlighters, Boxes, Plates, and Cups	59.58	10/23/2018	100-410-1325-42000-0000	
214682995001	Stamps, File w/ Pockets, Expandable Files	56.57	10/23/2018	100-410-1520-42000-0000	
215126836001	Copy Paper	145.63	10/23/2018	100-420-2100-42000-0000	
	Check Total:	658.44			
Vendor: omabr	Omann Brothers Inc.			Check Sequence: 67	ACH Enabled: False
27447	Patching Mix	2,100.00	10/23/2018	100-430-3121-44050-0000	
27458	Patching Mix	2,925.00	10/23/2018	603-496-9495-44055-0000	
27527	South Diamond Lk Rd. and Taco Bell	8,241.36	10/23/2018	100-430-3121-44050-0000	
27528	Milling	2,637.50	10/23/2018	100-430-3121-44050-0000	
	Check Total:	15,903.86			
Vendor: onsit	On Site Sanitation			Check Sequence: 68	ACH Enabled: False
0000671654	Portable for Park + Add'l Service - Hassan	835.00	10/23/2018	100-450-5200-43100-0000	
	Check Total:	835.00			
Vendor: onlso	Online Solutions			Check Sequence: 69	ACH Enabled: False
3003	Laserfiche Integration	5,000.00	10/23/2018	400-000-0000-10100-0000	
3003	Laserfiche Integration	5,000.00	10/23/2018	400-410-1330-43190-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
3003	Laserfiche Integration	-5,000.00	10/23/2018	400-000-0000-10100-4005	
	Check Total:	5,000.00			
Vendor: oreau	O'Reilly Auto Parts			Check Sequence: 70	ACH Enabled: False
1952-481673	Tray/Bulbs	79.99	10/23/2018	100-430-3000-42100-0000	
	Check Total:	79.99			
Vendor: reiin	Reinders, Inc			Check Sequence: 71	ACH Enabled: False
3058523-00	Lawn Seed & Fertilizer	3,935.00	10/23/2018	100-450-5200-42160-0000	
3058523-01	Lawn Seed & Fertilizer	4,989.00	10/23/2018	100-450-5200-42160-0000	
	Check Total:	8,924.00			
Vendor: tragr	RFS Enterprises Inc			Check Sequence: 72	ACH Enabled: False
EM-127615	Helmet Lettering	53.00	10/23/2018	100-420-2210-42100-0000	
	Check Total:	53.00			
Vendor: rogpr	Rogers Printing Metro, Inc			Check Sequence: 73	ACH Enabled: False
53969	Business Cards	104.00	10/23/2018	100-420-2210-43500-0000	
53990	Utility Billing Cards	431.25	10/23/2018	603-496-9495-42100-0000	
53990	Utility Billing Cards	431.25	10/23/2018	100-430-3245-42100-0000	
53990	Utility Billing Cards	431.25	10/23/2018	602-495-9490-42100-0000	
53990	Utility Billing Cards	431.25	10/23/2018	601-494-9440-42100-0000	
	Check Total:	1,829.00			
Vendor: rogtr	Rogers True Value Hardware Inc			Check Sequence: 74	ACH Enabled: False
15602	20A Ground Fault Duplex	27.99	10/23/2018	100-420-2100-42102-0000	
15667	Hardware & Pliers	23.03	10/23/2018	602-495-9490-42104-0000	
15677	Bit	20.99	10/23/2018	100-430-3121-42260-0000	
15682	Brooms	25.98	10/23/2018	100-430-3000-42100-0000	
15692	1" Poly Elbow	3.58	10/23/2018	100-450-5200-42100-0000	
	Check Total:	101.57			
Vendor: monan	Patricia Salzwedel			Check Sequence: 75	ACH Enabled: False
864	Animal Pickup - Septemebr (1 @ 53)	53.00	10/23/2018	100-420-2700-43100-0000	
	Check Total:	53.00			
Vendor: johla	SiteOne Landscape Supply			Check Sequence: 76	ACH Enabled: False
86905452-001	PVC Pipe & Fittings	204.89	10/23/2018	100-450-5200-42100-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
87051247-001	Staples	162.38	10/23/2018	603-496-9495-42100-0000	
	Check Total:	367.27			
Vendor: strei	Streicher's Inc.			Check Sequence: 77	ACH Enabled: False
I1333806	Ammunition	654.42	10/23/2018	100-420-2100-42070-0000	
I1334830	Ammunition	334.22	10/23/2018	100-420-2100-42070-0000	
	Check Total:	988.64			
Vendor: supso	Supply Solutions, LLC			Check Sequence: 78	ACH Enabled: False
20127	Centerpull Towels & Napkins	142.42	10/23/2018	100-420-2100-42100-0000	
	Check Total:	142.42			
Vendor: carbu	Tegrete			Check Sequence: 79	ACH Enabled: False
78202	Hassan Town Hall - Nov 2018	79.00	10/23/2018	100-410-1940-44060-0000	
78202	PW Janitorial Service - Nov 2018	310.00	10/23/2018	100-430-3000-44060-0000	
78205	Cleaning Service - November 2018	266.33	10/23/2018	100-420-2210-44060-0000	
78206	PD Cleaning Services - November 2018	1,347.00	10/23/2018	100-420-2100-44060-0000	
	Check Total:	2,002.33			
Vendor: ammho	The Ammonia House Inc			Check Sequence: 80	ACH Enabled: False
48058	Compressor Oil	270.70	10/23/2018	205-450-5205-42100-0000	
	Check Total:	270.70			
Vendor: norgr	Lance Thompson			Check Sequence: 81	ACH Enabled: False
3455	Resurf Blade Sharpening	60.00	10/23/2018	205-450-5205-44040-0000	
	Check Total:	60.00			
Vendor: titma	Titan Machinery Inc			Check Sequence: 82	ACH Enabled: False
11459191	Excavator Rental	5,303.35	10/23/2018	427-450-5300-44100-1808	
11505308	Excavator Rental	1,896.00	10/23/2018	427-450-5300-44100-1808	
11510018	Adj. Credit for Excavator Rental	-664.35	10/23/2018	427-450-5300-44100-1808	
1151003	Adj. Credit for Excavator Rental	-246.00	10/23/2018	427-450-5300-44100-1808	
	Check Total:	6,289.00			
Vendor: towph	Phil Towns			Check Sequence: 83	ACH Enabled: False
Re-Issue Ck	Reissue Check #67434 - Program Overpayment	5.00	10/23/2018	100-450-5120-34790-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	5.00			
Vendor: ups	UPS Store			Check Sequence: 84	ACH Enabled: False
010118-1610	UPS Shipping - Bullet Proof Vest Return/ #6832	11.21	10/23/2018	100-420-2100-43220-0000	
	Check Total:	11.21			
Vendor: ushea	US Healthworks Medical Grp MN, P.C.			Check Sequence: 85	ACH Enabled: False
0091107-MN	Pre-Employment Exam (Ende)	272.00	10/23/2018	100-420-2210-44080-0000	
0091351-MN	Pre-Employment Exam (Diers & Willegalle)	544.00	10/23/2018	100-420-2210-44080-0000	
	Check Total:	816.00			
Vendor: usabl	USA Blue Book			Check Sequence: 86	ACH Enabled: False
692120	Digital Indoor/Outdoor Thermometer	32.25	10/23/2018	602-495-9490-42100-0000	
	Check Total:	32.25			
Vendor: vantr	Vantagepoint Transfer Agents - 306516			Check Sequence: 87	ACH Enabled: False
306516	10/26/2018 Payroll	711.00	10/23/2018	100-000-0000-21705-0000	
	Check Total:	711.00			
Vendor: verwi	Verizon Wireless Services, LLC			Check Sequence: 88	ACH Enabled: False
9815214958	Cellphone - CR	26.88	10/23/2018	100-410-1941-43250-0000	
9815214958	Cellphone - Water	55.05	10/23/2018	601-494-9440-43250-0000	
9815214958	Cellphone - Strm. Wtr	55.05	10/23/2018	603-496-9495-43250-0000	
9815214958	PD- Cell Phone Usage	881.40	10/23/2018	100-420-2100-43250-0000	
9815214958	Cellphone - Sr. Cntr.	26.87	10/23/2018	100-450-5186-43250-0000	
9815214958	Fire Chief and Fire Inspector	138.61	10/23/2018	100-420-2210-43250-0000	
9815214958	City Planner	50.76	10/23/2018	100-410-1910-43250-0000	
9815214958	Cellphone - RAC	101.52	10/23/2018	205-450-5205-43250-0000	
9815214958	Civil Project Engineer	36.16	10/23/2018	100-410-1950-43250-0000	
9815214958	Cellphone - Sewer	55.06	10/23/2018	602-495-9490-43250-0000	
9815214958	City Administrator Cell	50.76	10/23/2018	100-410-1325-43250-0000	
9815214958	Clerk Cell	50.76	10/23/2018	100-410-1325-43250-0000	
9815214958	IS Cell Phones	386.91	10/23/2018	100-410-1330-43250-0000	
9815214958	Cellphone - Parks	128.34	10/23/2018	100-450-5200-43250-0000	
9815214958	Cellphone - PW	310.32	10/23/2018	100-430-3000-43250-0000	
9815847623	Wireless Connection	490.14	10/23/2018	100-420-2210-43250-0000	
9815847624	Hot Spot (Internet) Check Out	35.01	10/23/2018	100-410-1330-43250-0000	
9815847625	Mobile Broadband	35.01	10/23/2018	603-496-9495-43250-0000	
9815847625	Mobile Broadband	35.01	10/23/2018	601-494-9440-43250-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
9815847625	Mobile Broadband	35.01	10/23/2018	602-495-9490-43250-0000	
	Check Total:	2,984.63			
Vendor: watla	Water Laboratories, Inc.			Check Sequence: 89	ACH Enabled: False
7075	Water Testing - September	160.00	10/23/2018	601-494-9440-44080-0000	
	Check Total:	160.00			
Vendor: watco	Watson Company			Check Sequence: 90	ACH Enabled: False
892760	Concessions Stock	409.40	10/23/2018	205-450-5205-42550-0000	
	Check Total:	409.40			
Vendor: thore	West Publishing Corporation			Check Sequence: 91	ACH Enabled: False
839051680	Contracted Services - Online Investigation Servi	221.14	10/23/2018	100-420-2100-43100-0000	
	Check Total:	221.14			
Vendor: weswh	Westside Wholesale Tire & Supply			Check Sequence: 92	ACH Enabled: False
363131	Tires	912.10	10/23/2018	100-430-3122-42103-0000	
363132	Tube for Tractor Tire	24.25	10/23/2018	100-450-5200-42103-0000	
821504	Lawn Mower Tires	140.00	10/23/2018	100-450-5200-42103-0000	
	Check Total:	1,076.35			
Vendor: wsbas	WSB & Associates, Inc.			Check Sequence: 93	ACH Enabled: False
01269-480.8	02169-480, Aug Feltcher Hills 2nd Add.	405.00	10/23/2018	100-410-1950-43030-8150	
01879-520.39	01879-520, Aug Ind Blvd Exten	1,176.25	10/23/2018	402-430-3121-43030-1707	
02169-250.24	02169-250.24,Aug Vincent Woods Apts	1,104.50	10/23/2018	100-410-1950-43030-8150	
02169-880.19	02169-880, Aug Brockton Ln Util Ext Project	59.74	10/23/2018	406-430-3121-43030-1510	
02169-880.19	02169-880, Aug Brockton Ln Util Ext Project	277.76	10/23/2018	405-430-3121-43030-1510	
03193-060.25	03193-060, Aug Production Well 9 & Pumphous	7,234.75	10/23/2018	407-430-3320-43030-1519	
03193-230.11	03193-230, Aug Pedestrian Impr TH 101	3,011.00	10/23/2018	427-450-5300-43030-1706	
03193-330.8	03193-330, Aug Nrthdale Blvd Street Imprv	5,801.00	10/23/2018	401-430-3121-43030-1701	
03193-340.21	03193-340, Aug Justen Cir Street & Util Impr	7,440.00	10/23/2018	402-430-3121-43030-1604	
03193-340.21	03193-340, Aug Justen Cir Street & Util Impr	7,440.00	10/23/2018	402-000-0000-10100-0000	
03193-340.21	03193-340, Aug Justen Cir Street & Util Impr	-7,440.00	10/23/2018	402-000-0000-10100-5000	
03193-350.21	03193-350, Aug Rogers Dr Reconstr Ph 2 (SDLI	-196.00	10/23/2018	402-000-0000-10100-5000	
03193-350.21	03193-350, Aug Rogers Dr Reconstr Ph 2 (SDLI	196.00	10/23/2018	402-000-0000-10100-0000	
03193-350.21	03193-350, Aug Rogers Dr Reconstr Ph 2 (SDLI	196.00	10/23/2018	402-430-3121-43030-1702	
R011087-000.10	R011087-000, Aug Mall Estates Street Impr	9,464.25	10/23/2018	401-430-3121-43030-1801	
R011402-000.9	R011402-000, Aug Lennar/Laurel Creek Devel I	9,453.00	10/23/2018	447-430-3121-43030-8150	
R011432-000.8	Ro11432-000, Aug Gen Eng - Uturn Question	566.50	10/23/2018	100-410-1950-43030-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
R011432-000.8	R011432-000, Aug Gen Eng	4,530.75	10/23/2018	100-410-1950-43030-0000	
R011432-000.8	R011432-000, Aug Gen Eng Srvcs - CSAH 81 &	487.50	10/23/2018	446-430-3121-43030-1402	
R011509-000.7	R011509-000, Aug Future CR117 Exten Project	379.50	10/23/2018	447-430-3121-43030-1804	
R011797-000.5	R011797-000, Aug Pvment Mngmnt OCI Rating	50.50	10/23/2018	401-430-3121-43030-0000	
R012100-000.4	R012100-000, Aug Ind Pk Stormwater Permit - (	1,224.50	10/23/2018	603-496-9495-43030-1806	
R012346-000.4	R012346-000, Aug Util Study Sylan Lk Devel S	2,874.00	10/23/2018	405-430-3121-43030-1704	
R012346-000.4	R012346-000, Aug Util Study Sylan Lk Devel S	2,874.00	10/23/2018	406-430-3121-43030-1704	
R014432-000.8	R014432-000, Aug Gen Eng Srvcs - Justen Cir S	-742.50	10/23/2018	402-000-0000-10100-5000	
R014432-000.8	R014432-000, Aug Gen Eng Srvcs - 141st Row I	533.00	10/23/2018	100-410-1950-43030-0000	
R014432-000.8	R014432-000, Aug Gen Eng Srvcs - Justen Cir S	742.50	10/23/2018	402-430-3121-43030-1604	
R014432-000.8	R014432-000, Aug Gen Eng Srvcs - Justen Cir S	742.50	10/23/2018	402-000-0000-10100-0000	
R014432-000.8	R014432-000, Aug Gen Eng Srvcs - Graco	1,665.00	10/23/2018	603-496-9495-43030-1806	
R014432-000.8	R014432-000, Aug Gen Eng Srvcs - Ind Pk Drai	740.00	10/23/2018	603-496-9495-43030-1806	
R014432-000.8	Ro14432-000, Aug Gen Eng Srvcs - Scannell 2n	273.00	10/23/2018	100-410-1950-43030-8150	
	Check Total:	62,564.00			
Vendor: xcele	Xcel Energy			Check Sequence: 94	ACH Enabled: False
51-0011856814-1	Traffic Signal - 11841 Brockton LaneUnit Temp	67.56	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - North Ramp 101 & 94	38.45	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - 141st Ave & Median West of 101	113.65	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - 141st Ave & High School	101.30	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - CSAH 81 & John Deere Ln	87.54	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - Hwy 101 & S Diamond Lk Rd	56.04	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - South Ramp 101 & 94	32.25	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - 141st Ave & Northdale	78.85	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - CSAH 81 & Industrial Blvd	39.03	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - Brockton Ln & S Diamond Lk R	56.26	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - 141st Ave & Median East of 101	53.91	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - Rogers Dr & S Diamond Lk Rd	61.88	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - 141st Ave & James Rd	84.96	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - 141st Ave & Rogers Dr	76.18	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - S Diamond Lk Rd & Northdale	47.83	10/23/2018	100-420-2600-43810-0000	
51-6488911-0	Traffic Signal - CSAH 81 & Memorial Dr	38.35	10/23/2018	100-420-2600-43810-0000	
51-8078844-1	Electirc	8,507.21	10/23/2018	205-450-5205-43810-0000	
	Check Total:	9,541.25			
Vendor: yalme	Yale Mechanical, LLC			Check Sequence: 95	ACH Enabled: False
196287	PD- Rebuild Hot Water Pump #2	1,031.45	10/23/2018	100-420-2100-44010-0000	
	Check Total:	1,031.45			

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Total for Check Run:	244,581.41			
	Total of Number of Checks:	95			

Accounts Payable

Computer Check Proof List by Vendor

User: bbruska
Printed: 10/18/2018 - 9:57AM
Batch: 00005.10.2018

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
Vendor: airgas	Airgas North Central			Check Sequence: 1	ACH Enabled: False
1603038571	Gas Cylinders	2.12	10/23/2018	609-497-9770-42100-0000	
1603089653	Gas Cylinders	4.63	10/23/2018	609-497-9770-42100-0000	
9956280502	Gas Cylinders	100.59	10/23/2018	609-497-9770-42100-0000	
	Check Total:	107.34			
Vendor: balde	Dennis Ball			Check Sequence: 2	ACH Enabled: False
10/16/18	October 27 2018	500.00	10/23/2018	609-497-9770-43430-0000	
	Check Total:	500.00			
Vendor: wirbe	BreakThru Beverage Minnesota			Check Sequence: 3	ACH Enabled: False
1080864617	Liquor	496.95	10/23/2018	609-497-9760-42510-0000	
1080864617	Wine	700.00	10/23/2018	609-497-9760-42530-0000	
1080864617	Mix	22.00	10/23/2018	609-497-9760-42540-0000	
1080867719	Liquor	6,164.66	10/23/2018	609-497-9760-42510-0000	
1080867719	Wine	471.15	10/23/2018	609-497-9760-42530-0000	
1080867719	Mix	22.00	10/23/2018	609-497-9760-42540-0000	
1080868191	Liquor	1,259.10	10/23/2018	609-497-9760-42510-0000	
1080871216	Mix	24.00	10/23/2018	609-497-9760-42540-0000	
1080871216	Liquor	956.48	10/23/2018	609-497-9760-42510-0000	
1080871216	Wine	128.00	10/23/2018	609-497-9760-42530-0000	
	Check Total:	10,244.34			
Vendor: capbe	Capitol Beverage			Check Sequence: 4	ACH Enabled: False
2169239	Bar Beer	148.00	10/23/2018	609-497-9770-42520-0000	
2169239	Offsale Beer	100.00	10/23/2018	609-497-9770-42521-0000	
2169613	Beer	2,594.40	10/23/2018	609-497-9760-42520-0000	
2172081	Offsale Beer	20.40	10/23/2018	609-497-9770-42521-0000	
2172081	Bar Beer	725.50	10/23/2018	609-497-9770-42520-0000	
6771558	Beer	1,519.60	10/23/2018	609-497-9760-42520-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
	Check Total:	5,107.90			
Vendor: chacr	Chankaska Creek & Winery, LLC			Check Sequence: 5	ACH Enabled: False
303985	Wine	168.00	10/23/2018	609-497-9760-42530-0000	
	Check Total:	168.00			
Vendor: berbe	Chas. A. Bernick, Inc.			Check Sequence: 6	ACH Enabled: False
455983	Mix	16.40	10/23/2018	609-497-9760-42540-0000	
455984	Beer	546.20	10/23/2018	609-497-9760-42520-0000	
457327	Mix	24.00	10/23/2018	609-497-9760-42540-0000	
457328	Beer	522.45	10/23/2018	609-497-9760-42520-0000	
	Check Total:	1,109.05			
Vendor: cinco	Cintas Corporation			Check Sequence: 7	ACH Enabled: False
4010492572	Rugs/Towels	49.86	10/23/2018	609-497-9760-43100-0000	
4010727577	Rugs/Towels	159.72	10/23/2018	609-497-9770-43100-0000	
	Check Total:	209.58			
Vendor: citro	City of Rogers			Check Sequence: 8	ACH Enabled: False
Interfund	Interfund Loan Payment - Liquor to General Fun	41,362.85	10/23/2018	609-000-0000-20700-0000	
	Check Total:	41,362.85			
Vendor: dahdi	Dahlheimer Distributing Co.			Check Sequence: 9	ACH Enabled: False
1372180	Beer	2,908.80	10/23/2018	609-497-9760-42520-0000	
1378052	Bar Beer	316.60	10/23/2018	609-497-9770-42520-0000	
189955	Bar Beer	215.60	10/23/2018	609-497-9770-42520-0000	
190521	Beer	7,720.00	10/23/2018	609-497-9760-42520-0000	
	Check Total:	11,161.00			
Vendor: dehfi	Dehmer Fire Protection LLC			Check Sequence: 10	ACH Enabled: False
7248	Fire Extinguisher Maintenance 2018 Muni	29.00	10/23/2018	609-497-9770-43100-0000	
	Check Total:	29.00			
Vendor: forbu	Foremost Business Systems Inc			Check Sequence: 11	ACH Enabled: False
62921	2018 Muni Aloha Phone Support Agreement	1,050.00	10/23/2018	609-497-9770-44330-0000	
	Check Total:	1,050.00			

Invoice No		Description	Amount	Payment Date	Acct Number	Reference
Vendor:	hohen	Hohensteins Inc			Check Sequence: 12	ACH Enabled: False
000203		Beer	930.00	10/23/2018	609-497-9760-42520-0000	
		Check Total:	930.00			
Vendor:	jjtay	JJ Taylor Distributing Co of MN., Inc.			Check Sequence: 13	ACH Enabled: False
2853386		Beer Credit	-168.00	10/23/2018	609-497-9760-42520-0000	
2896891		Beer	1,121.34	10/23/2018	609-497-9760-42520-0000	
2896955		Beer	624.40	10/23/2018	609-497-9760-42520-0000	
		Check Total:	1,577.74			
Vendor:	johbr	Johnson Brothers Liquor Co.			Check Sequence: 14	ACH Enabled: False
1120294		Liquor	474.00	10/23/2018	609-497-9760-42510-0000	
1120382		Liquor	3,418.00	10/23/2018	609-497-9760-42510-0000	
1120383		Wine	1,715.53	10/23/2018	609-497-9760-42530-0000	
1120385		Liquor	4,439.00	10/23/2018	609-497-9760-42510-0000	
1125731		Liquor	2,105.73	10/23/2018	609-497-9760-42510-0000	
1125732		Wine	6,379.35	10/23/2018	609-497-9760-42530-0000	
1125733		Mix	30.50	10/23/2018	609-497-9760-42540-0000	
1125734		Liquor	3,084.00	10/23/2018	609-497-9760-42510-0000	
503470		Wine Credit	-64.00	10/23/2018	609-497-9760-42530-0000	
		Check Total:	21,582.11			
Vendor:	artbe	Johnson Brothers Liquor Company			Check Sequence: 15	ACH Enabled: False
3296551		Beer	169.25	10/23/2018	609-497-9760-42520-0000	
3296552		Beer	171.95	10/23/2018	609-497-9760-42520-0000	
		Check Total:	341.20			
Vendor:	shagr	Kelbro Company			Check Sequence: 16	ACH Enabled: False
2290979		Ice	127.10	10/23/2018	609-497-9760-42570-0000	
		Check Total:	127.10			
Vendor:	lupbre	Lupulin Brewing			Check Sequence: 17	ACH Enabled: False
16001		Beer	270.00	10/23/2018	609-497-9760-42520-0000	
		Check Total:	270.00			
Vendor:	mamun	M Amundson Cigar & Candy Co LLP			Check Sequence: 18	ACH Enabled: False
267162		Mix	63.54	10/23/2018	609-497-9760-42540-0000	
267162		Paper & Plastic Bags	116.61	10/23/2018	609-497-9760-42100-0000	

Invoice No		Description	Amount	Payment Date	Acct Number	Reference
267162		Supplies for Resale	259.20	10/23/2018	609-497-9760-42580-0000	
267162		Tobacco	900.29	10/23/2018	609-497-9760-42560-0000	
		Check Total:	1,339.64			
Vendor:	pauso	Paustis & Sons			Check Sequence: 19	ACH Enabled: False
26957		Wine	1,165.21	10/23/2018	609-497-9760-42530-0000	
26958		Liquor	31.33	10/23/2018	609-497-9760-42510-0000	
		Check Total:	1,196.54			
Vendor:	phiwi	Phillips Wine & Spirits			Check Sequence: 20	ACH Enabled: False
2434235		Wine	151.20	10/23/2018	609-497-9760-42530-0000	
2434294		Liquor	270.40	10/23/2018	609-497-9760-42510-0000	
2434295		Wine	276.00	10/23/2018	609-497-9760-42530-0000	
2438269		Liquor	527.90	10/23/2018	609-497-9760-42510-0000	
2438270		Wine	1,417.60	10/23/2018	609-497-9760-42530-0000	
307961		Wine Credit	-36.00	10/23/2018	609-497-9760-42530-0000	
		Check Total:	2,607.10			
Vendor:	reifo	Reinhart Food Service, LLC			Check Sequence: 21	ACH Enabled: False
471232		RWAS Bath Tissue	57.59	10/23/2018	609-497-9760-42100-0000	
471232		Muni Bath Tissue, Can Liners, Plastic Forks, Pap	260.58	10/23/2018	609-497-9770-42100-0000	
472778		Muni Wax Paper Liners	25.00	10/23/2018	609-497-9770-42100-0000	
472778		RWAS Wax paper Liners	24.99	10/23/2018	609-497-9760-42100-0000	
		Check Total:	368.16			
Vendor:	repso	Replenishment Solutions			Check Sequence: 22	ACH Enabled: False
2156027		Beer	165.00	10/23/2018	609-497-9760-42520-0000	
		Check Total:	165.00			
Vendor:	souwi	Southern Wine & Spirits			Check Sequence: 23	ACH Enabled: False
1737127		Liquor	2,808.07	10/23/2018	609-497-9760-42510-0000	
1739711		Liquor	2,065.88	10/23/2018	609-497-9760-42510-0000	
1739712		Mix	38.87	10/23/2018	609-497-9760-42540-0000	
		Check Total:	4,912.82			
Vendor:	carbu	Tegrete			Check Sequence: 24	ACH Enabled: False
78068		Cleaning 9/23/2018 Sunday Muni	64.23	10/23/2018	609-497-9770-44060-0000	
78127		Cleaning 10/8/2018 Sunday Muni	64.23	10/23/2018	609-497-9770-44060-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
78203	Cleaning Muni October 2018	1,669.87	10/23/2018	609-497-9770-44060-0000	
	Check Total:	1,798.33			
Vendor: theam	The American Bottling Co.			Check Sequence: 25	ACH Enabled: False
3569302241	Pop/Mix	369.40	10/23/2018	609-497-9760-42540-0000	
	Check Total:	369.40			
Vendor: uppla	Upper Lakes Foods			Check Sequence: 26	ACH Enabled: False
353711	Pizzas for Resale	1,175.95	10/23/2018	609-497-9770-42550-0000	
	Check Total:	1,175.95			
Vendor: vartr	Varner Transportation LLC			Check Sequence: 27	ACH Enabled: False
37017	Freight September 2018	285.00	10/23/2018	609-497-9760-42590-0000	
37101	Freight	251.25	10/23/2018	609-497-9760-42590-0000	
37116	Freight	240.00	10/23/2018	609-497-9760-42590-0000	
37131	Freight	403.75	10/23/2018	609-497-9760-42590-0000	
	Check Total:	1,180.00			
Vendor: verwi	Verizon Wireless Services, LLC			Check Sequence: 28	ACH Enabled: False
9815214958	RWAS Cell Phones September 2018	101.46	10/23/2018	609-497-9760-43210-0000	
9815214958	Muni Cell Phones September 2018	101.46	10/23/2018	609-497-9770-43210-0000	
	Check Total:	202.92			
Vendor: vikse	Viking Sewer & Drain			Check Sequence: 29	ACH Enabled: False
44265	Unplugging Muni Sewer Line	327.50	10/23/2018	609-497-9770-44010-0000	
	Check Total:	327.50			
Vendor: wglen	WGL Energy Systems			Check Sequence: 30	ACH Enabled: False
7875	Solar August 2018	106.30	10/23/2018	609-497-9760-43810-0000	
	Check Total:	106.30			
Vendor: wrsim	WRS Imports			Check Sequence: 31	ACH Enabled: False
1699	Liquor	1,275.00	10/23/2018	609-497-9760-42510-0000	
	Check Total:	1,275.00			
Vendor: xcele	Xcel Energy			Check Sequence: 32	ACH Enabled: False
51-4145018-0	Rwas Electric August 2018	2,103.18	10/23/2018	609-497-9760-43810-0000	

Invoice No	Description	Amount	Payment Date	Acct Number	Reference
51-6752987-1	Muni Electric August 2018	994.72	10/23/2018	609-497-9770-43810-0000	
	Check Total:	3,097.90			
	Total for Check Run:	115,999.77			
	Total of Number of Checks:	32			

September 2018 US Bank P-Card Allocations

VENDOR	Account					Amount	Description
	Fund	Prog.	Dept.	Code	Proj.		
	100	410	1110	36233	0000	(8.32)	2nd Quarter 2018 P-Card Rebate
AMZN MKTP US	100	410	1325	42010	0000	174.00	Chrome Book for Other Administration
AMZN MKTP US AMZN.COM/BIL	100	410	1325	42000	0000	11.80	Chrome Book Carrying Case
USPS PO 2683500376	100	410	1325	36233	0000	20.00	Postage - Reimbursed
	100	410	1325	36233	0000	(66.68)	2nd Quarter 2018 P-Card Rebate
IS DECISIONS 2078032	100	410	1330	43190	0000	291.00	Security auditing software
LOGMEIN*CENTRAL	100	410	1330	43190	0000	(67.72)	Remote support software
LOGMEIN*CENTRAL	100	410	1330	43190	0000	967.71	Remote support software
MINNESOTA ASSOCIATION OF	100	410	1330	44360	0000	100.00	MAGC Fall Conference
RAISING CANE'S	100	410	1330	36233	0000	8.20	Accidental Charge - Reimbursed
U OF M PARKING	100	410	1330	44360	0000	8.00	Parking for MAGC conference
WWW.CHAMPIONSG.COM	100	410	1330	43190	0000	793.66	Monthly Email hosting
	100	410	1330	36233	0000	(295.49)	2nd Quarter 2018 P-Card Rebate
AMAZON.COM	100	410	1410	42000	0000	34.36	iPad Chargers for Poll Books - Elections
	100	410	1410	36233	0000	(7.57)	2nd Quarter 2018 P-Card Rebate
MINNESOTA GOVERNMENT FIN	100	410	1520	44360	0000	210.00	MNGFOA Registration Fee - Herbert
	100	410	1520	36233	0000	(18.85)	2nd Quarter 2018 P-Card Rebate
AMERICAN PLANNING A	100	410	1910	44360	0000	300.00	Planning Conference
AMERICAN PLANNING A	100	410	1910	44360	0000	300.00	Planning Conference
	100	410	1910	36233	0000	(19.50)	2nd Quarter 2018 P-Card Rebate
COMMERS CONDITIONED WA	100	410	1940	43820	0000	24.95	Sept Water Service at City Hall
	100	410	1940	36233	0000	(3.31)	2nd Quarter 2018 P-Card Rebate
MN RECREATION AND PARK A	100	410	1941	44360	0000	175.00	MRPA Fall Conference (Faust)
ZEROREZ	100	410	1941	44060	0000	500.00	Carpet Cleaning for Community Room
	100	410	1941	36233	0000	(38.56)	2nd Quarter 2018 P-Card Rebate
BP#8775652DOWNTOWN BP IN	100	410	1950	42120	0000	41.28	Fuel
	100	410	1950	36233	0000	(1.47)	2nd Quarter 2018 P-Card Rebate
AAFES CAMP RIPLEY AFB 26	100	420	2100	42070	0000	10.56	Training Supplies - 5 LB Bag/Ice
AAFES CAMP RIPLEY AFB 26	100	420	2100	42070	0000	6.57	Ice for Training at Camp Ripley
AAFES CAMP RIPLEYS SNCK	100	420	2100	44360	0000	11.07	Meal Reimbursement - Camp Ripley Trng
AAFES CAMP RIPLEYS SNCK	100	420	2100	44360	0000	8.98	Training at Camp Ripley - Food
AAFES CAMP RIPLEYS SNCK	100	420	2100	44360	0000	8.98	Snack/Food - Camp Ripley
APL* ITUNES.COM/BILL	100	420	2100	43250	0000	0.99	Apple iCloud 50GB Storage Plan
BP#8777658ROGERS BP	100	420	2100	42120	0000	28.26	Fuel for Squad 6884
BP#8777658ROGERS BP	100	420	2100	42120	0000	49.76	Fuel for Van Rented for Training at Camp Ripley
BP#8777658ROGERS BP	100	420	2100	42120	0000	40.07	Training at Camp Ripley Sept 12-13
BP#9268962PENN BP	100	420	2100	42120	0000	32.58	Fuel - DTF Squad
BP#9271859COON RAPIDS BP	100	420	2100	42120	0000	25.08	Fuel - DTF Squad
BROWNELLS INC	100	420	2100	42105	0000	247.71	Firearms Cleaning & Maintenance Equipment
CHIPOTLE 1414	100	420	2100	42120	0000	12.69	lunch while attending Zetx training
CHIPOTLE 1414	100	420	2100	42120	0000	16.13	lunch while attending Zetx training
CHIPOTLE 1414	100	420	2100	42120	0000	11.61	lunch while attending Zetx training
CULVER'S # 344	100	420	2100	44360	0000	36.68	Food - Foster/Wegner/Bohlsen - Camp Ripley
CULVER'S #62	100	420	2100	44360	0000	12.70	Food Reimbursement - Crime Scene Investigation Trng
GALLS	100	420	2100	42180	0000	361.93	Body Armor Vest
HC CENTRAL LIBRARY PARKIN	100	420	2100	44360	0000	4.00	Parking @ Henn Cty Govt Center - Court
HOLIDAY STNSTORE 0309	100	420	2100	42120	0000	25.99	Fuel - DTF Squad
HOLIDAY STNSTORE 0312	100	420	2100	42120	0000	35.56	Fuel - DTF Squad
IMPARK00200154A	100	420	2100	44360	0000	2.00	Parking @ Regions Hospital
MCCOYS PUB	100	420	2100	44360	0000	41.38	Crime Scene Investigation Trng Aug 20-24
MCCOYS PUB	100	420	2100	44360	0000	28.07	Crime Scene Investigation Trng Aug 20-24
MCDONALD'S F2780	100	420	2100	44360	0000	11.04	Training at Camp Ripley - Meal Reimbursement
MCDONALD'S F5170	100	420	2100	44360	0000	29.95	Food-Madson/Nelson/Justen - Trng at Camp Ripley
MILLS FLEET FARM 2400	100	420	2100	42105	0000	49.44	Sledge Hammer
NATIONAL CAMERA EXCHANGE	100	420	2100	42100	0000	1,597.94	Camera Supplies - Batteries/Tripods/Flash Kits
NORTHERN TOOL EQUIPMNT	100	420	2100	42105	0000	932.22	Water Pressure Washer & Oil
NORTHERN TOOL EQUIPMNT	100	420	2100	42105	0000	17.19	Wheel/Tire
OLDE MAIN EATERY	100	420	2100	44360	0000	31.41	Crime Scene Investigation Trng Aug 20-24
PETSMART #2754	100	420	2100	42107	0000	69.46	K9 - Dog Food
POMPEII PIZZERIA	100	420	2100	44360	0000	26.44	Crime Scene Investigation Trng Aug 20-24
POMPEII PIZZERIA	100	420	2100	44360	0000	35.84	Crime Scene Investigation Trng Aug 20-24
RIPLEY 1 STOP	100	420	2100	42120	0000	34.35	Fuel - Travel from Camp Ripley Training
RIPLEY 1 STOP	100	420	2100	42120	0000	34.08	Fuel - Squad 6843
RIPLEY 1 STOP	100	420	2100	44360	0000	7.71	Training at Camp Ripley - Meal Reimbursement
ROGERS TRUE VALUE	100	420	2100	42105	0000	39.00	Cleaning Equipment
RON SMITH AND ASSOCIATES	100	420	2100	44360	0000	600.00	Fundamentals of Crime Scene Examination & Evidence Class

September 2018 US Bank P-Card Allocations

VENDOR	Account					Amount	Description
	Fund	Prog.	Dept.	Code	Proj.		
SIRCHIE FINGER PRINT LABO	100	420	2100	42100	0000	252.91	Syringe Transport Tubes
SMARTSIGN	100	420	2100	42102	0000	40.36	Automatic Door Switch
SQ *PIROGUES MOBILE CATER	100	420	2100	44360	0000	254.40	Contract Dining for Training at Camp Ripley
STREICHER'S MPLS	100	420	2100	42070	0000	299.88	Ammunition - Camp Ripley
TACO JOHNS 9866	100	420	2100	44360	0000	72.99	Food Reimbursement - Camp Ripley Training (8)
TARGET 00006643	100	420	2100	42010	0000	17.99	Wireless Mouse
TARGET 00014563	100	420	2100	42100	0000	913.92	Cameras & Flashdrives
TARGET 00014563	100	420	2100	44385	0000	(115.49)	Night To Unite Reimbursement/Return
TARGET 00014563	100	420	2100	44360	0000	25.52	Beverages/Ziploc & Trash Bags
THE FORT STEAKHOUSE	100	420	2100	44360	0000	512.23	Meal at Camp Ripley - 19 Participants
THE GUNS AND GEAR STOR	100	420	2100	42070	0000	749.50	Ammunition - Training Supplies
THE HOME DEPOT 2844	100	420	2100	42105	0000	90.26	Tools - Pliers & Drill Bits
VERTECH LABS INC	100	420	2100	42105	0000	159.84	Wand for Power Washer - PD Garage
	100	420	2100	36233	0000	(784.79)	2nd Quarter 2018 P-Card Rebate
	100	420	2110	36233	0000	(4.98)	2nd Quarter 2018 P-Card Rebate
ACTIVE911 INC	100	420	2210	43250	0000	663.75	Active911 App Renewel
CABELA'S RETAIL 014	100	420	2210	42100	0000	(19.25)	Brackets for G12
HOLIDAY CAR WASH 0405	100	420	2210	44040	0000	5.50	Squad 2 Car Wash
OCEAN SALES LTD	100	420	2210	42100	0000	53.45	Truck Washing Supplies
ROGERS TRUE VALUE	100	420	2210	42100	0000	34.99	Grill Utencils
SEARS ROEBUCK 1112	100	420	2210	42105	0000	199.98	Tools for E11 and E21
	100	420	2210	36233	0000	(114.55)	2nd Quarter 2018 P-Card Rebate
	100	420	2230	36233	0000	(13.49)	2nd Quarter 2018 P-Card Rebate
	100	420	2400	36233	0000	(196.00)	2nd Quarter 2018 P-Card Rebate
	100	420	2500	36233	0000	(0.29)	2nd Quarter 2018 P-Card Rebate
	100	430	3000	36233	0000	(185.40)	2nd Quarter 2018 P-Card Rebate
FLEETPRIDE 570	100	430	3122	42103	0000	241.59	Muffler for Tandem Dump Truck
	100	430	3122	36233	0000	(7.79)	2nd Quarter 2018 P-Card Rebate
AMZN MKTP US	100	450	5120	42100	0000	115.62	Outdoor Flag Pole
MN RECREATION AND PARK A	100	450	5120	44360	0000	350.00	MRPA Fall Conference (Bauer)
THE HOME DEPOT #2821	100	450	5120	42000	0000	8.95	Poster Hanging Strips
THE HOME DEPOT #2821	100	450	5120	42105	0000	69.00	Box for Movie Screen
WAV*MINNESOTA ASA	100	450	5120	43100	0000	300.00	Fall Sanctioning Fees
WAV*MINNESOTA ASA	100	450	5120	42100	0000	90.00	Softballs
	100	450	5120	36233	0000	(89.29)	2nd Quarter 2018 P-Card Rebate
BAN-KOE SYSTEMS	100	450	5186	42105	0000	836.82	Video Cameras for Senior Center
BAN-KOE SYSTEMS	100	450	5186	42105	0000	836.82	Video Cameras for Senior Center
CENTER CUT MEATS LLC	100	450	5186	43444	0000	315.00	Senior Dining Meals for August
DAVANNI'S #21 - ROGERS	100	450	5186	43444	0000	33.61	Senior Dining Meals
DAVANNI'S #21 - ROGERS	100	450	5186	43444	0000	35.11	Senior Dining Meals
LOLAS LAKE HOUSE	100	450	5186	43443	0000	707.74	Lunch for Seniors Field Trip
MN RECREATION AND PARK A	100	450	5186	44360	0000	175.00	MRPA Fall Conference (Faust)
OLD LOG THEATRE	100	450	5186	43443	0000	470.00	Theater Tickets for Seniors Field Trip
PAYPAL *TURNSTONE	100	450	5186	42102	0000	121.99	Cabling for cameras
SAMSCLUB.COM	100	450	5186	42100	0000	38.22	Paper Towels, Napkins
SIMPLISAFE.COM	100	450	5186	43880	0000	14.99	Senior Center Security System Monthly Bill
	100	450	5186	36233	0000	(199.32)	2nd Quarter 2018 P-Card Rebate
ST CLOUD TECHNICAL COLLEG	100	450	5200	44360	0000	125.00	Books Low Pressure Boiler Classes (Hayes)
	100	450	5200	36233	0000	(10.21)	2nd Quarter 2018 P-Card Rebate
CUB FOODS- ROGERS	205	450	5205	42550	0000	17.72	Concessions Stock
FSI*CENTERPOINT ENERGY	205	450	5205	43830	0000	1,003.75	Natural Gas
FSI*CENTERPOINT ENERGY	205	450	5205	43830	0000	463.84	Natural Gas
MENARDS MAPLE GROVE MN	205	450	5205	42102	0000	(399.16)	Supplies for table top project
MENARDS MAPLE GROVE MN	205	450	5205	42102	0000	399.16	Supplies for table top project
MENARDS MAPLE GROVE MN	205	450	5205	42102	0000	370.58	Supplies for table top project
PRO FILER BY EDGE	205	450	5205	42100	0000	286.10	Skate Sharpening wheels
SAMSCLUB.COM	205	450	5205	42550	0000	277.60	Concessions Stock
SAMSCLUB.COM	205	450	5205	42100	0000	44.70	Broom and Dust Pans, Shop Rags
SQ *SQUARE PAID SERVICES	205	450	5205	44300	0000	5.00	Cashier Fee
SUPERAMERICA 4766	205	450	5205	42120	0000	20.00	Gas to get back from MIAMA Fall Conference - City Vehicle
TAG UP	205	450	5205	42100	0000	2,241.82	White Board Purchase for Rogers Royals Booster Club - Reimbursed
THE HOME DEPOT #2821	205	450	5205	42100	0000	39.46	Rope, Spraypaint
	205	450	5205	36233	0000	(408.67)	2nd Quarter 2018 P-Card Rebate
	601	494	9440	36233	0000	(593.06)	2nd Quarter 2018 P-Card Rebate
PAYPAL *JT TOOLS	602	495	9490	42103	0000	57.35	Voltage Regulator for Crane Truck
	602	495	9490	36233	0000	(197.06)	2nd Quarter 2018 P-Card Rebate

September 2018 US Bank P-Card Allocations

VENDOR	Account					Amount	Description
	Fund	Prog.	Dept.	Code	Proj.		
	603	496	9495	36233	0000	(2.26)	2nd Quarter 2018 P-Card Rebate
CENTURYLINK/SPEEDPAY	609	497	9760	43210	0000	201.19	Rwas telephone July 15-Aug 15
CUB FOODS- ROGERS	609	497	9760	43420	0000	7.50	Rwas dog-friendly promotion
CUB FOODS- ROGERS	609	497	9760	42100	0000	5.29	Rwas tissues
CUB FOODS- ROGERS	609	497	9760	42550	0000	6.90	Rwas limes for resale
CUB FOODS- ROGERS	609	497	9760	42550	0000	6.90	Rwas limes for resale
CUB FOODS- ROGERS	609	497	9760	42540	0000	26.86	Rwas pop for resale
FSI*CENTERPOINT ENERGY	609	497	9760	43830	0000	54.04	Rwas gas 6/26 to 7/27
ROGERS TRUE VALUE	609	497	9760	42100	0000	36.54	Rwas bug killer
SCREENVISION MEDIA	609	497	9760	43420	0000	176.00	Rwas Movie Theatre promotion
TARGET 00014563	609	497	9760	43420	0000	7.50	Rwas dog-friendly promotion
TARGET 00014563	609	497	9760	42540	0000	45.51	Rwas pop for resale
TARGET 00014563	609	497	9760	42540	0000	49.81	Rwas pop for resale
THE MARKETPLACE	609	497	9760	42550	0000	13.80	Rwas limes for resale
THE MARKETPLACE	609	497	9760	42550	0000	6.90	Rwas limes for resale
THE MARKETPLACE	609	497	9760	42550	0000	10.35	Rwas limes for resale
WRAP-ART INC	609	497	9760	42580	0000	339.30	Rwas Barware, Gift Bags for Resale
WRAP-ART INC	609	497	9760	42580	0000	72.60	Rwas Holiday gift bags for resale
	609	497	9760	36233	0000	(274.57)	2nd Quarter 2018 P-Card Rebate
CENTURYLINK/SPEEDPAY	609	497	9770	43210	0000	264.66	Muni telephone July 15- Aug 15
COMCAST ST. PAUL CS 1X	609	497	9770	43100	0000	251.93	Muni cable Aug 16 to Sept 15
COMCAST ST. PAUL CS 1X	609	497	9770	43100	0000	258.93	Muni cable Sept 16 to Oct 15
CUB FOODS- ROGERS	609	497	9770	43420	0000	76.02	Sunday Vikings meat/cheese/crackers
CUB FOODS- ROGERS	609	497	9770	43420	0000	13.98	Muni Nat'l Peanut day promotion
CUB FOODS- ROGERS	609	497	9770	42100	0000	6.90	Muni limes
CUB FOODS- ROGERS	609	497	9770	43420	0000	18.94	Muni Sunday Vikings promotion
FSI*CENTERPOINT ENERGY	609	497	9770	43830	0000	29.54	Muni gas 6/26 to 7/26
ROGERS TRUE VALUE	609	497	9770	42100	0000	13.97	Muni plunger
SCREENVISION MEDIA	609	497	9770	43420	0000	176.00	Muni Movie Theatre promotion
TARGET 00014563	609	497	9770	42100	0000	27.41	Muni crockpot
THE MARKETPLACE	609	497	9770	42100	0000	13.80	Muni limes
THE MARKETPLACE	609	497	9770	42100	0000	19.80	Muni limes
THE MARKETPLACE	609	497	9770	42100	0000	18.09	Muni lemons and limes
	609	497	9770	36233	0000	(117.85)	2nd Quarter 2018 P-Card Rebate
	100	**000**	**0000**	**10100**	**0000**	**(15,499.99)**	**September 2018 CC Allocations**
	205	**000**	**0000**	**10100**	**0000**	**(4,361.90)**	**September 2018 CC Allocations**
	601	**000**	**0000**	**10100**	**0000**	**593.06**	**September 2018 CC Allocations**
	602	**000**	**0000**	**10100**	**0000**	**139.71**	**September 2018 CC Allocations**
	603	**000**	**0000**	**10100**	**0000**	**2.26**	**September 2018 CC Allocations**
	609	**000**	**0000**	**10100**	**0000**	**(1,864.54)**	**September 2018 CC Allocations**
					Total	(20,991.40)	
					Stmt Total	20,991.40	
					Difference	-	

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.3

Subject: Approval of Resolution No. 2018-87 A Resolution Supporting Metropolitan Council Study for Northwest Metropolitan Area Regional Surface Water Supply System

Prepared By: John Seifert; Public Works Director

Recommended City Council Action

Motion to Approve Resolution 2018-87 Supporting Metropolitan Council Study for Northwest Metropolitan Area Regional Surface Water Supply System.

Overview / Background

The City of Rogers currently relies on groundwater as the sole source of it's municipal water supply system for its City residents and businesses. This groundwater source is derived from the Franconia, Ironton, Galesville Aquifer (FIG).

In an effort to support the development of the seven county Metropolitan Council source water management strategies, the Metropolitan Council has established sub-regional work groups. The City of Rogers is a part of the Northwest Sub-Regional Source Water Work Group along with our neighboring communities in the northwest quadrant of the seven county metro area.

The Metropolitan Council has encouraged cities to work collaboratively and cooperatively in partnership with the cities of Corcoran, Dayton, Ramsey and Rogers in the Northwest Metropolitan area to study alternatives and relative costs associated with the use of surface water as a potential source of water for the partnering cities municipal water supply systems.

The primary objective of the partnering cities led study is to understand the relative costs and implementation considerations of different surface water use approaches to long-term water sustainability with the study area.

The approaches evaluated in the study are not intended to prescribe specific solutions for implementation but rather to serve as examples to stimulate future planning that could involve a hybrid of alternatives identified in the study, or in combination with water conservation measures and other sustainability approaches.

No funds are required by partnering cities. The Metropolitan Council will fund 100% of the costs of the study. The neighboring communities of Corcoran, Dayton, and Ramsey have all scheduled the approval of a similar resolution demonstrating the support to further this study with Metropolitan Council.

Staff Recommendation

Motion to Approve Resolution 2018-87 Supporting Metropolitan Council Study for Northwest Metropolitan Area Regional Surface Water Supply System.

Financial Impact: None **Budgeted?** Yes **Source Fund:** Metropolitan Council

Notes:

ATTACHMENTS:

Description

Resolution No. 2018-87

RESOLUTION NO. 2018 - 87

A RESOLUTION SUPPORTING METROPOLITAN COUNCIL STUDY FOR NORTHWEST METROPOLITAN AREA REGIONAL SURFACE WATER SUPPLY SYSTEM

WHEREAS, the City of Rogers owns and maintains a municipal water supply system which is essential to the quality of life, health and welfare of City residents and businesses; and

WHEREAS, the City of Rogers currently relies on groundwater as the sole source of its municipal water supply system; and

WHEREAS; the Metropolitan Council is encouraged to work collaboratively and cooperatively in partnership with the cities of Corcoran, Dayton, Ramsey, and Rogers in the Northwest Metropolitan area to study alternatives and relative costs associated with the use of surface water as a potential source of water for the partnering cities municipal water supply systems; and

WHEREAS; the primary objective of the partnering cities led study is to understand the relative costs and implementation considerations of different surface water use approaches to long-term water sustainability within the study area; and

WHEREAS, the approaches evaluated in the study are not intended to prescribe specific solutions for implementation, but will rather serve as examples to stimulate future planning that could involve a hybrid of alternatives identified in the study, or in combination with water conservation measures and other sustainability approaches; and

WHEREAS, the partnering cities understand that no local match funds are required and request that the Metropolitan Council fund 100-percent of the costs of the study.

NOW, THEREFORE, the City Council of the City of Rogers hereby approves the following:

1) That, the City of Rogers hereby supports a collaborative and cooperative effort to study a regional surface water supply system in the Northwest Metropolitan area.

2) That, the City of Rogers will continue to work collaboratively and cooperatively with the partnering cities to supply water to the public in an environmentally sound, cost- effective, and sustainable manner.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23rd day of October, 2018.

_____
Mayor

ATTEST:

_____
Asst. City Administrator/City Clerk

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.4

Subject: Authorization to Call a Public Hearing for Tuesday, November 13, 2018 at 7:00 p.m. for the Purpose of Adopting the Annual Fee Schedule Ordinance, Utility Rates, and Related Items

Prepared By: Stacy Scharber, Assistant City Administrator

Recommended City Council Action
Motion to call a public hearing for Tuesday, November 13, 2018 at 7:00 p.m. for the purpose of adopting the annual fee schedule ordinance, utility rates, and related items.

Overview / Background
A public hearing needs to be called in order to adopt the proposed ordinance on the annual fee schedule.

Council and staff will be reviewing the draft fee schedule during the budget workshop scheduled for November 13, 2018.

Staff Recommendation
Motion to call a public hearing for Tuesday, November 13, 2018 at 7:00 p.m. for the purpose of adopting the annual fee schedule ordinance, utility rates, and related items.

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.5

Subject: Setting a Budget Workshop of the City Council for Tuesday, October 30, 2018 at 6:00 p.m. at the Rogers Police Department, 21860 Industrial Court, Rogers, MN

Prepared By:

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.7

Subject: Approval of the 2019 Siren Maintenance Contract with Embedded Systems, Inc.

Prepared By: Brad Feist, Fire Chief/Emergency Management Director

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Recommended City Council Action
Motion to authorize staff to enter into a Siren Maintenance Contract with Embedded Systems, Inc.

Overview / Background
The Contract with Embedded Systems, Inc. includes testing the receiver/decoder unit, replacing the backup batteries in each siren every two years, and submitting weekly monitoring testing reports on all (10) outdoor warning sirens to the Fire Chief.

The Siren Maintenance Fee for 2019 will remain the same as the 2018 rate, $46.12 per siren, per month.

Staff Recommendation
Motion to approve the 2019 Siren Maintenance Contract with Embedded Systems, Inc.

Financial Impact: $5,534 annually

Budgeted? Yes

Source Fund: 100-420-2500-44070

Notes:

ATTACHMENTS:
Description

Attached is the 2019 Contract Renewal Agreement with Embedded Systems, Inc.

Embedded Systems, Inc.

Tel. (763) 757-3696
www.embedsys.com

11931 Hwy 65 NE, Minneapolis, MN 55434

Fax: (763) 767-2817
btorkelson@embedsys.com

Contract Renewal

October 1, 2018

City of Rogers
Brad Feist
21201 Memorial Drive
Rogers, MN 55374

We are at the end of another tornado season. Embedded Systems, Inc. has provided our best service toward maintaining the tornado sirens for your city for the past several years. We would be very pleased to continue to provide Tornado Siren Maintenance for your city.

The Monthly Siren Maintenance Fee for 2019 will be **$46.12** per siren, per month.

The decoder batteries for your city are scheduled to be replaced in 2019 for preventive maintenance. Battery replacement will occur once every 2 years for Hennepin County and once every three years for Anoka County for all units maintained by Embedded Systems under the original maintenance agreement, including those batteries which may have been replaced since the last scheduled replacement because of failure.

We are asking that you please sign and return this contract renewal to us before **November 16, 2018** to enable us to continue to provide our best service through the end of 2019. Feel free to fax the signed contract renewal to (763) 767-2817 or email it to btorkelson@embedsys.com.

Thank you for your business and we look forward to servicing your needs through the next year. If you have any questions, feel free to contact me directly.

Thank you,

Brenda Torkelson
Embedded Systems, Inc.

Contract terms accepted:

_____
Signature Date

_____
Phone

_____
Email

For continuation of services through the end of the year 2019

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.8

Subject: Authorization of 2018 Audit Engagement Letter

Prepared By: Lisa L. Herbert, Finance Director

Recommended City Council Action
Motion authorizing the Finance Director to sign the engagement letter with Abdo, Eick & Meyers LLP (AEM) for the 12/31/18 year end audit and preparation of the City of Rogers 2018 Annual Financial Report.

Overview / Background
Finance Director Herbert has reviewed the attached audit engagement letter and finds the services to be provided by Abdo, Eick & Meyers LLP in order with their cost of services quoted at $38,175 (of which $19,088 is estimated to be charged to the General Fund and the balance to Enterprise Funds). The cost of the audit has been included in the 2019 Draft Budget. The agreement provides for a 1.6% ($575) increase to fees for auditing, financial statement preparation and OSA reporting services over the previous year plus $1,000 for the implementation of GASB 75. New GASB reporting requirements add additional scope and responsibilities to the audit. It is typical to have additional added costs the first year of implementation of new Government Accounting Standards Board (GASB) required standards. AEM also provides training regarding new standards and reviews implementation timelines and reporting requirements as part of their services.

AEM has kept their annual auditing service pricing most often well below inflation since we began using their services, with a number of years at a 0% increase. I have estimated that it takes 3-4 auditors, 6-7 days in-house, to complete the preliminary audit, internal controls evaluation, audit field work, liquor inventory counts, completion of the Annual Financial Report and its filing with the Office of the State Auditor. In addition, they field periodic questions and provide consulting throughout the year at no additional charge. We have used the firm for a number of years for auditing services and have been very satisfied with their performance. Their ongoing knowledge of Roger's current finances and specific accounting processes allow for a time savings during the audit process. They have a strong reputation among city governments for their expertise, professionalism and knowledge of required financial reporting standards.

Staff Recommendation
Motion to authorize the Finance Director to sign the engagement letter with Abdo, Eick & Meyers for the audit and preparation of the City of Rogers 2018 Annual Financial Report.

Financial Impact: $38,175 **Budgeted?** Yes **Source Fund:** Funds 100, 601, 602, 603, and 609

Notes:

ATTACHMENTS:

Description

Audit Engagement Letter

ABDO
EICK &
MEYERS LLP
Certified Public Accountants & Consultants

October 10, 2018

Management, Honorable Mayor and City Council
City of Rogers
Rogers, Minnesota

We are pleased to confirm our understanding of the services we are to provide the City of Rogers (the City) for the year ended December 31, 2018. We will audit the financial statements of the governmental activities, the business-type activities, each major fund and the aggregate remaining fund information, including the related notes to the financial statements, which collectively comprise the basic financial statements of the City as of and for the year ended December 31, 2018. Accounting standards generally accepted in the United States of America provide for certain required supplementary information (RSI), such as management's discussion and analysis (MD&A), to supplement the City's basic financial statements. Such information, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. As part of our engagement, we will apply certain limited procedures to the City's RSI in accordance with auditing standards generally accepted in the United States of America. These limited procedures will consist of inquiries of management regarding the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We will not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance. The following RSI is required by generally accepted accounting principles and will be subjected to certain limited procedures, but will not be audited:

1) Management's Discussion and Analysis
2) Schedule of Net Pension Liability and Employer's Contributions
3) Schedule of Net OPEB Liability, Employer's Contributions and Investment Returns

We have also been engaged to report on supplementary information other than RSI that accompanies the City's financial statements. We will subject the following supplementary information to the auditing procedures applied in our audit of the financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the financial statements or to the financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America, and we will provide an opinion on it in relation to the financial statements as a whole, in a report combined with our auditor's report on the financial statements:

1) Combining and Individual Fund Financial Statements and Schedules
2) Summary Financial Report - Revenues and Expenditures for General Operations - Governmental Funds

The following other information accompanying the financial statements will not be subjected to the auditing procedures applied in our audit of the financial statements, and our auditor's report will not provide an opinion or any assurance on that other information.

1) Introductory Section

5201 Eden Avenue, Suite 250
Edina, MN 55436
952.835.9090 | Fax 952.835.3261

100 Warren Street, Suite 600
P.O. Box 3166
Mankato, MN 56002-3166
507.625.2727 | Fax 507.388.9139

Audit Objectives

The objective of our audit is the expression of opinions as to whether your financial statements are fairly presented, in all material respects, in conformity with U.S. generally accepted accounting principles and to report on the fairness of the supplementary information referred to in the second paragraph when considered in relation to the financial statements as a whole. Our audit will be conducted in accordance with auditing standards generally accepted in the United States of America and the standards for financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States, and will include tests of the accounting records of the City and other procedures we consider necessary to enable us to express such opinions. We will issue a written report upon completion of our audit of the City's financial statements. Our report will be addressed to the City Council of the City. We cannot provide assurance that unmodified opinions will be expressed. Circumstances may arise in which it is necessary for us to modify our opinions or add emphasis-of-matter or other-matter paragraphs. If our opinions are other than unmodified, we will discuss the reasons with you in advance. If, for any reason, we are unable to complete the audit or are unable to form or have not formed opinions, we may decline to express opinions or issue reports, or may withdraw from this engagement.

We will also provide a report (that does not include an opinion) on internal control related to the financial statements and compliance with the provisions of laws, regulations, contracts, and grant agreements, noncompliance with which could have a material effect on the financial statements as required by *Government Auditing Standards*. The report on internal control and on compliance and other matters will include a paragraph that states (1) that the purpose of the report is solely to describe the scope of testing of internal control and compliance, and the results of that testing, and not to provide an opinion on the effectiveness of the City's internal control on compliance, and (2) that the report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the City's internal control and compliance. The paragraph will also state that the report is not suitable for any other purpose. If during our audit we become aware that the City is subject to an audit requirement that is not encompassed in the terms of this engagement, we will communicate to management and those charged with governance that an audit in accordance with U.S. generally accepted auditing standards and the standards for financial audits contained in *Government Auditing Standards* may not satisfy the relevant legal, regulatory, or contractual requirements.

Audit Procedures - General

An audit includes examining, on a test basis, evidence supporting the amounts and disclosures in the financial statements; therefore, our audit will involve judgment about the number of transactions to be examined and the areas to be tested. An audit also includes evaluating the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluating the overall presentation of the financial statements. We will plan and perform the audit to obtain reasonable assurance about whether the financial statements are free of material misstatement, whether from (1) errors, (2) fraudulent financial reporting, (3) misappropriation of assets, or (4) violations of laws or governmental regulations that are attributable to the government or to acts by management or employees acting on behalf of the government. Because the determination of abuse is subjective, *Government Auditing Standards* do not expect auditors to provide reasonable assurance of detecting abuse.

Because of the inherent limitations of an audit, combined with the inherent limitations of internal control, and because we will not perform a detailed examination of all transactions, there is a risk that material misstatements may exist and not be detected by us, even though the audit is properly planned and performed in accordance with U.S. generally accepted auditing standards and *Government Auditing Standards*. In addition, an audit is not designed to detect immaterial misstatements or violations of laws or governmental regulations that do not have a direct and material effect on the financial statements. However, we will inform the appropriate level of management of any material errors, fraudulent financial reporting, or misappropriation of assets that come to our attention. We will also inform the appropriate level of management of any violations of laws or governmental regulations that come to our attention, unless clearly inconsequential, and of any material abuse that comes to our attention. Our responsibility as auditors is limited to the period covered by our audit and does not extend to later periods for which we are not engaged as auditors.

Our procedures will include tests of documentary evidence supporting the transactions recorded in the accounts, and may include tests of the physical existence of inventories, and direct confirmation of receivables and certain other assets and liabilities by correspondence with selected individuals, funding sources, creditors, and financial institutions. We will request written representations from your attorneys as part of the engagement, and they may bill you for responding to this inquiry. At the conclusion of our audit, we will require certain written representations from you about your responsibilities for the financial statements; compliance with laws, regulations, contracts, and grant agreements; and other responsibilities required by generally accepted auditing standards.

Audit Procedures - Internal Control

Our audit will include obtaining an understanding of the government and its environment, including internal control, sufficient to assess the risks of material misstatement of the financial statements and to design the nature, timing, and extent of further audit procedures. Tests of controls may be performed to test the effectiveness of certain controls that we consider relevant to preventing and detecting errors and fraud that are material to the financial statements and to preventing and detecting misstatements resulting from illegal acts and other noncompliance matters that have a direct and material effect on the financial statements. Our tests, if performed, will be less in scope than would be necessary to render an opinion on internal control and, accordingly, no opinion will be expressed in our report on internal control issued pursuant to *Government Auditing Standards*.

An audit is not designed to provide assurance on internal control or to identify significant deficiencies or material weaknesses. Accordingly, we will express no such opinion. However, during the audit, we will communicate to management and those charged with governance internal control related matters that are required to be communicated under AICPA professional standards and *Government Auditing Standards*.

Audit Procedures - Compliance

As part of obtaining reasonable assurance about whether the financial statements are free of material misstatement, we will perform tests of the City's compliance with the provisions of applicable laws, regulations, contracts, agreements, and grants. However, the objective of our audit will not be to provide an opinion on overall compliance and we will not express such an opinion in our report on compliance issued pursuant to *Government Auditing Standards*.

Other Services

We will prepare a general ledger trial balance for use during the audit. Our preparation of the trial balance will be limited to formatting information in the general ledger into a working trial balance. As part of the audit, we will assist with preparation of your financial statements and related notes. You will be required to acknowledge in the written representation letter our assistance with preparation of the financial statements and that you have reviewed and approved the financial statements and related notes prior to their issuance and have accepted responsibility for them. We will also use the financial statements to complete the Office of the State Auditors' Reporting Forms. These nonaudit services do not constitute and audit under *Government Auditing Standards* and such services will not be conducted in accordance with *Government Auditing Standards*. We will perform the services in accordance with applicable professional standards. The other services are limited to the financial statement services previously defined. We, in our sole professional judgment, reserve the right to refuse to perform any procedure or take any action that could be construed as assuming management responsibilities.

Management Responsibilities

Management is responsible for designing, implementing, establishing and maintaining effective internal controls relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error, including evaluating and monitoring ongoing activities, to help ensure that appropriate goals and objectives are met; following laws and regulations; and ensuring that management and financial information is reliable and properly reported. Management is also responsible for implementing systems designed to achieve compliance with applicable laws, regulations, contracts, and grant agreements. You are also responsible for the selection and application of accounting principles, for the preparation and fair presentation of the financial statements and all accompanying information in conformity with U.S. generally accepted accounting principles, and for compliance with applicable laws and regulations and the provisions of contracts and grant agreements.

Management is also responsible for making all financial records and related information available to us and for the accuracy and completeness of that information. You are also responsible for providing us with (1) access to all information of which you are aware that is relevant to the preparation and fair presentation of the financial statements, (2) additional information that we may request for the purpose of the audit, and (3) unrestricted access to persons within the government from whom we determine it necessary to obtain audit evidence.

Your responsibilities include adjusting the financial statements to correct material misstatements and for confirming to us in the written representation letter that the effects of any uncorrected misstatements aggregated by us during the current engagement and pertaining to the latest period presented are immaterial, both individually and in the aggregate, to the financial statements taken as a whole.

You are responsible for the design and implementation of programs and controls to prevent and detect fraud, and for informing us about all known or suspected fraud affecting the government involving (1) management, (2) employees who have significant roles in internal control, and (3) others where the fraud could have a material effect on the financial statements. Your responsibilities include informing us of your knowledge of any allegations of fraud or suspected fraud affecting the City received in communications from employees, former employees, grantors, regulators, or others. In addition, you are responsible for identifying and ensuring that the government complies with applicable laws, regulations, contracts, agreements, and grants and for taking timely and appropriate steps to remedy fraud and noncompliance with provisions of laws, regulations, contracts or grant agreements, or abuse that we report.

You are responsible for the preparation of the supplementary information, which we have been engaged to report on, in conformity with U.S. generally accepted accounting principles. You agree to include our report on the supplementary information in any document that contains and indicates that we have reported on the supplementary information. You also agree to include the audited financial statements with any presentation of the supplementary information that includes our report thereon. Your responsibilities include acknowledging to us in the written representation letter that (1) you are responsible for presentation of the supplementary information in accordance with GAAP; (2) you believe the supplementary information, including its form and content, is fairly presented in accordance with GAAP; (3) the methods of measurement or presentation have not changed from those used in the prior period (or, if they have changed, the reasons for such changes); and (4) you have disclosed to us any significant assumptions or interpretations underlying the measurement or presentation of the supplementary information.

Management is responsible for establishing and maintaining a process for tracking the status of audit findings and recommendations. Management is also responsible for identifying and providing report copies of previous financial audits, attestation engagements, performance audits or other studies related to the objectives discussed in the Audit Objectives section of this letter. This responsibility includes relaying to us corrective actions taken to address significant findings and recommendations resulting from those audits, attestation engagements, performance audits, or other studies. You are also responsible for providing management's views on our current findings, conclusions, and recommendations, as well as your planned corrective actions, for the report, and for the timing and format for providing that information. With regard to the electronic dissemination of audited financial statements, including financial statements published electronically on your website, you understand that electronic sites are a means to distribute information and, therefore, we are not required to read the information contained in these sites or to consider the consistency of other information in the electronic site with the original document.

You agree to assume all management responsibilities relating to the financial statements and related notes and any other nonaudit services we provide. You will be required to acknowledge in the management representation letter our assistance with preparation of the financial statements and related notes and that you have reviewed and approved the financial statements and related notes prior to their issuance and have accepted responsibility for them. Further, you agree to oversee the nonaudit services by designating an individual, preferably from senior management, with suitable skill, knowledge, or experience; evaluate the adequacy and results of those services; and accept responsibility for them.

Engagement Administration, Fees, and Other

We may from time to time, and depending on the circumstances, use third-party service providers in serving your account. We may share confidential information about you with these service providers, but remain committed to maintaining the confidentiality and security of your information. Accordingly, we maintain internal policies, procedures, and safeguards to protect the confidentiality of your personal information. In addition, we will secure confidentiality agreements with all service providers to maintain the confidentiality of your information and we will take reasonable precautions to determine that they have appropriate procedures in place to prevent the unauthorized release of your confidential information to others. In the event that we are unable to secure an appropriate confidentiality agreement, you will be asked to provide your consent prior to the sharing of your confidential information with the third-party service provider. Furthermore, we will remain responsible for the work provided by any such third-party service providers.

We understand that your employees will prepare all cash, accounts receivable, or other confirmations we request and will locate any documents selected by us for testing.

We will provide copies of our reports to the City; however, management is responsible for distribution of the reports and the financial statements. Unless restricted by law or regulation, or containing privileged and confidential information, copies of our reports are to be made available for public inspection.

The audit documentation for this engagement is the property of Abdo, Eick & Meyers, LLP and constitutes confidential information. However, subject to applicable laws and regulations, audit documentation and appropriate individuals will be made available upon request and in a timely manner to any Regulator or its designee, a federal agency providing direct or indirect funding, or the U.S. Government Accountability Office for purposes of a quality review of the audit, to resolve audit findings, or to carry out oversight responsibilities. We will notify you of any such request. If requested, access to such audit documentation will be provided under the supervision of Abdo, Eick & Meyers, LLP personnel. Furthermore, upon request, we may provide copies of selected audit documentation to the aforementioned parties. These parties may intend, or decide, to distribute the copies or information contained therein to others, including other governmental agencies.

The audit documentation for this engagement will be retained for a minimum of five years after the report release date or for any additional period requested by the Regulator. If we are aware that a federal awarding agency or auditee is contesting an audit finding, we will contact the party(ies) contesting the audit finding for guidance prior to destroying the audit documentation.

We expect to begin our audit on approximately March 25, 2019 and to issue our reports no later than June 30, 2019. Andrew K. Berg, CPA is the engagement partner and is responsible for supervising the engagement and signing the reports or authorizing another individual to sign them.

Our fee for these services will be as follows:

Audit	$ 36,450
GASB 75 Implementation	1,000
2018 Office of the State Auditor's Reporting Form	725
Total	$ 38,175

You may also be billed for travel and other out-of-pocket costs such as report production, typing, postage, etc if not included in the fee listed above. The fee is based on anticipated cooperation from your personnel and the assumption that unexpected circumstances will not be encountered during the engagement. If significant additional time is necessary, we will discuss it with you and arrive at a new fee before we incur the additional costs. Our invoices for these fees will be rendered each month as work progresses and are payable on presentation. Amounts not paid within 30 days from the invoice date will be subject to a late payment charge of .66 percent per month (8 percent per year). If for any reason the account is turned over to collections, additional fees will be added to cover collections cost. In accordance with our Firm policies, work may be suspended if your account becomes 60 days or more overdue and will not be resumed until your account is paid in full. If we elect to terminate our services for nonpayment, our engagement will be deemed to have been completed upon written notification of termination, even if we have not completed your audit. You will be obligated to compensate us for all time expended and to reimburse us for all out-of-pocket expenditures through the date of termination.

Except in the event of your failure to make a payment when due, in the event of a dispute related in any way to our services, our Firm and you agree to discuss the dispute and, if necessary, to promptly mediate in a good faith effort to resolve. We will agree on a mediator, but if we cannot, either of us may apply to a court having personal jurisdiction over the parties for appointment of a mediator. We will share the mediator's fees and expenses equally, but otherwise will bear our own attorneys' fees and mediation cost. Participation in such mediation shall be a condition to either of us initiating litigation. In order to allow time for the mediation, any applicable statute of limitations shall be tolled for a period not to exceed 120 days from the date either of us first requests in writing to mediate the dispute. The mediation shall be confidential in all respects, as allowed or required by law, except our final settlement positions at mediation shall be admissible in litigation solely to determine the prevailing party's identify for purposes of the award of attorneys' fees. In the event you fail to make a payment for services or to reimburse for costs advanced by the Firm on your behalf, the Firm reserves the right to take all legally permissible action, including commencement of litigation in lieu of mediation, and shall have the right to collect its costs, including reasonable attorney's fees, incurred in any such collection or litigation activities.

Government Auditing Standards require that we provide you with a copy of our most recent external peer review report and any letter of comment, and any subsequent peer review reports and letters of comment received during the period of the contract. Our 2017 Peer Review Report accompanies this letter.

We appreciate the opportunity to be of service to the City and believe this letter accurately summarizes the significant terms of our engagement. If you have any questions, please let us know. If you agree with the terms of our engagement as described in this letter, please electronically sign this letter.

Sincerely,

Abdo Eick & Meyers, LLP

ABDO, EICK & MEYERS, LLP
Certified Public Accountants & Consultants

RESPONSE:

This letter correctly sets forth the understanding of the City of Rogers.

By:

Title:

People
+Process.
Going
Beyond the
Numbers

BRADY MARTZ

CERTIFIED PUBLIC ACCOUNTANTS
AND CONSULTANTS

REPORT ON THE FIRM'S SYSTEM OF QUALITY CONTROL

January 30, 2018

To the Partners of
Abdo, Eick and Meyers, LLP
and the Peer Review Committee of the Minnesota Society
of Certified Public Accountants

We have reviewed the system of quality control for the accounting and auditing practice of Abdo, Eick & Meyers, LLP (the firm) in effect for the year ended May 31, 2017. Our peer review was conducted in accordance with the Standards for Performing and Reporting on Peer Reviews established by the Peer Review Board of the American Institute of Certified Public Accountants (Standards).

A summary of the nature, objectives, scope, limitations of, and the procedures performed in a System Review as described in the Standards may be found at www.aicpa.org/prsummary. The summary also includes an explanation of how engagements identified as not performed or reported in conformity with applicable professional standards, if any, are evaluated by a peer reviewer to determine a peer review rating.

Firm's Responsibility

The firm is responsible for designing a system of quality control and complying with it to provide the firm with reasonable assurance of performing and reporting in conformity with applicable professional standards in all material respects. The firm is also responsible for evaluating actions to promptly remediate engagements deemed as not performed or reported in conformity with professional standards, when appropriate, and for remediating weaknesses in its system of quality control, if any.

Peer Reviewer's Responsibility

Our responsibility is to express an opinion on the design of the system of quality control and the firm's compliance therewith based on our review.

Required Selections and Considerations

Engagements selected for review included engagements performed under *Government Auditing Standards*, including a compliance audit under the Single Audit Act; audits of employee benefit plans, an audit performed under FDICIA and an examination of a SOC 2 service organization.

As a part of our peer review, we considered reviews by regulatory entities as communicated by the firm, if applicable, in determining the nature and extent of our procedures.

Opinion

In our opinion, the system of quality control for the accounting and auditing practice of Abdo, Eick & Meyers, LLP in effect for the year ended May 31, 2017, has been suitably designed and complied with to provide the firm with reasonable assurance of performing and reporting in conformity with applicable professional standards in all material respects. Firms can receive a rating of *pass*, *pass with deficiency(ies)* or *fail*. Abdo, Eick & Meyers, LLP has received a peer review rating of *pass*.

Brady Martz

Brady Martz and Associates, P.C.

LAND ACQUISITION AREA = 1710 sq ft & 312 sq ft

RIGHT OF WAY VACATION AREA = 1355 sq ft

N

0 25 50

Prepared by:

WSB

RWAS Land Acquisition and Right of Way Vacation
Parcel Sketch

City of Rogers, Minnesota

WSB Project No. 1879-00 Date: 10/10/18

THE CITY OF ROGERS MINNESOTA

G:\MAPS\Rogers\SURVEY\Pete.dwg, 10/10/2018 2:03:05 PM

P.I.D. No. 1412023340015

Date: October 10, 2018

That part of the following described parcel of land in the City of Rogers:

Lot 6, Block 1, Rogers Retail Centre Second Addition, as is on file and of record in the office of the County Recorder, Hennepin County, Minnesota

Which lies within the following area for land acquisition:

That part of Lot 6, Block 1, Rogers Retail Centre Second Addition which lies northeasterly of the following described line: beginning at a point on the east line of said Lot 6, point being 25.00 feet south of the most east northeast corner of said Lot 6; thence northwesterly to a point on the north line of said Lot 6, point being 25.00 feet westerly of the most east northeast corner of said Lot 6 and said line there terminating.

And also

That part of Lot 6, Block 1, Rogers Retail Centre Second Addition described as follows: beginning at the Northwest corner of said Lot 6; thence South 88 degrees 53 minutes 17 seconds East, assumed bearing along the north line of sail Lot 6, 116.26 feet, thence South 00 degrees 42 minutes 59 seconds West, 19.00 feet; thence North 84 degrees 30 minutes 06 seconds West, 120.63 feet to a point on the west line of said Lot 6, thence North 22 degrees 48 minutes 48 seconds East, along the west line of said Lot 6, 10.52 feet to the point of beginning.

Which lies within the following right of way area for vacation:

That part of Parcel 4A MnDOT Right Of Way Plat Number 27-64 described as follows: commencing at the Northwest corner of Lot 6, Block 1, Rogers Retail Centre Second Addition; thence South 88 degrees 53 minutes 17 seconds East, assumed bearing along the north line of said Lot 6, 116.26 feet, thence South 00 degrees 42 minutes 59 seconds West, 19.00 feet to the point of beginning; thence South 89 degrees 17 minutes 01 seconds East, 66.36 feet; thence South 44 degrees 05 minutes 09 seconds East, 25.37 feet to a point on the north line of said Lot 6, point being 25.00 feet westerly of the most east northeast corner of said Lot 6; thence North 89 degrees 17 minutes 01 seconds West, along the north line of said Lot 6, 84.24 feet; thence North 00 degrees 42 minutes 59 seconds East, 18.00 feet to the point of beginning.

Parties: City of Rogers

Note: This is not a legal document. It is intended only to present the information to prepare the necessary documents for the acquisition of the easements described above by proceedings in eminent domain or negotiation.

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.10

Subject: Approval of Resolution 2018-84 Requesting Metropolitan Council Acquire the Rogers Publicly-Owned Waste Water Treatment Plant Through an Acquisition Agreement

Prepared By: John Seifert; Public Works Director

Recommended City Council Action
Motion to approve Resolution 2018-84 Requesting Metropolitan Council Acquire the Rogers Publicly-Owned Waste Water Treatment Plant Through an Acquisition Agreement

Overview / Background
The City Council received a presentation regarding the regional wastewater treatment for the City's publicly owned treatment works (POTW) and Metropolitan Council Environmental Services (MCES) planning. This presentation was provided at the last Council Meeting on October 9, 2018.

The City Council directed staff to proceed with drafting an Intergovernmental Agreement Between City of Rogers and Metropolitan Council. This agreement provides the framework for the acquisition of the Rogers POTW by MCES. This acquisition process culminates the long-term planning for the City of Rogers and the regional waste water treatment needs for MCES. Within the Intergovernmental Agreement, the City is required to initiate formal written request for a separate acquisition agreement with MCES. To this end, the City staff has drafted the attached resolution formally requesting MCES to proceed with a formal acquisition agreement between the two agencies.

The agreement will need to memorialize the details regarding several outstanding issues related to the acquisition and future decommission of the Rogers POTW. The outstanding issues include timing, land acquisition and final ownership, biosolids handling process, decommissioning details, future trunk sewer lines to MCES Regional Plant and finally, the interim operations details of the Rogers POTW by MCES prior to the construction and start up of the Regional Crow River Plant.

Staff Recommendation
At this time City staff is recommending approval of a resolution requesting MCES to begin the process of plant acquisition.

Financial Impact: None **Budgeted?** Yes **Source Fund:**

Notes:

ATTACHMENTS:

Description

2018-84 RESOLUTION REQUESTING METROPOLITAN COUNCIL ACQUIRE THE ROGERS PUBLICLY-OWNED WASTE WATER TREATMENT PLANT THROUGH AN ACQUISITION AGREEMENT

J. Clancy -Intergovernmental Agreement Between the City of Rogers and the Metropolitan Council Ltr

Inter-Governmental Agreement Between City of Rogers and Metropolitan Council 100118 - Rev 1

RESOLUTION NO. 2018-84

RESOULUTION REQUESTING METROPOLITAN COUNCIL ACQUIRE THE ROGERS PUBLICLY-OWNED WASTE WATER TREATMENT PLANT THROUGH AN ACQUISITION AGREEMENT

WHEREAS, the City of Rogers owns and operates a sanitary sewer system and a publicly owned wastewater treatment plant; and

WHEREAS, the City of Rogers has submitted its 2030 Comprehensive Plan and Comprehensive Sewer Plan to the Metropolitan Council; and

WHEREAS, the Metropolitan Council has accepted the City of Rogers' 2030 Comprehensive Plan, as amended, and has approved its Comprehensive Sewer Plan that includes the future flow of the Rogers Wastewater Treatment Plant to a new Regional Wastewater Treatment Plant near the Crow River; and

WHEREAS, the Metropolitan Council has adopted 2040 Water Resources Policy Plan and Thrive MSP 2040; and

WHEREAS; the Metropolitan Council's long-term wastewater system plan includes a new wastewater reclamation plant to serve the City of Rogers and neighboring communities, thereby replacing the need for the City's wastewater treatment plant and providing relief capacity to the Elm Creek Interceptor serving the regional wastewater needs of the area; and

WHEREAS; the Metropolitan Council's long-term capital improvement program, as stated in the 2040 Water Resources Policy Plan, projects construction of the Crow River wastewater reclamation plant by 2030; and

WHEREAS, the City of Rogers and Metropolitan Council have agreed to enter into an intergovernmental agreement that will facilitate the framework of the acquisition of the City of Rogers publicly owned treatment plant and the development of a future Metropolitan Council Environmental Services regional wastewater treatment plant.

NOW, THEREFORE, the City Council of the City of Rogers hereby formally requests that Metropolitan Council Environmental Services begin the acquisition process of the City of Rogers publicly owned wastewater treatment plant.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23rd day of October 2018.

_____
Mayor

ATTEST:

_____
Asst. City Administrator/City Clerk

CITY OF ROGERS
PUBLIC WORKS DEPARTMENT
(763) 428-8580
22350 SOUTH DIAMOND LAKE ROAD · ROGERS, MINNESOTA 55374

October 16, 2018

Jeannine Clancy
Metropolitan Council
390 North Robert Street
St. Paul, MN 55101

Re: Draft Inter-Governmental Agreement between the City of Rogers and the Metropolitan Council

Dear Jeannine,

At Tuesday's , October 9, 2018 City of Rogers Council meeting the Council was given a presentation from staff regarding the current draft Inter-Governmental Agreement between the City of Rogers and the Metropolitan Council. The City Council received the information with a clear understanding of the significance of the future relationship between the City of Rogers and the MCES regional plans. The board asked staff to proceed with the draft through the City Attorney and then forward the revised agreement for your consideration and process. To this end, attached you will find the current hardcopy draft as reviewed by staff and the City Attorney. An electronic copy will also be sent under separate cover via e-mail to those copied on this letter.

In addition, the City Council also directed staff to begin drafting a formal resolution requesting "Metropolitan Council Acquire the Rogers Publicly-Owned Waste Water Treatment Plant Through an Acquisition Agreement". City staff expects to have a formal resolution before the board at their next regularly scheduled council meeting.

Thank you for your staff's work on this important project between the two agencies. We look forward to working cooperatively to formalize the two agreements. We will wait for communication on the timeline of your internal process.

Please feel free to contact me with any outstanding issues on this process.

Sincerely,

John Seifert
Public Works Director
City of Rogers, MN

CC: Anna Bessel
Steve Stahmer

INTER-GOVERNMENTAL AGREEMENT
BETWEEN
CITY OF ROGERS
AND
METROPOLITAN COUNCIL

THIS AGREEMENT is made and entered into between the City of Rogers, a political subdivision of the State of Minnesota (City), and the Metropolitan Council, a public corporation and subdivision of the State of Minnesota (Council).

WHEREAS, the City has submitted its 2030 Comprehensive Plan and Comprehensive Sewer Plan; and

WHEREAS, the City owns and operates a sanitary sewer system and a wastewater treatment plant; and

WHEREAS, the Minnesota Pollution Control Agency has proposed more stringent requirements in the City's NPDES/SDS Permit for discharge from its wastewater treatment plant; and

WHEREAS, the City and the Council desire to enter into an agreement to facilitate long-term planning for development in the City with regards to wastewater services; and

WHEREAS, the City has requested regional wastewater service from the Council that will include, among other things, the Council's acquisition of the City's wastewater treatment plant, as part of its Comprehensive Sewer Plan; and

WHEREAS, the Council has accepted the City's 2030 Comprehensive Plan, as amended, and has approved its Comprehensive Sewer Plan; and

WHEREAS, the Council has extended its Elm Creek Interceptor to the southeastern corner of the City for the benefit of Rogers, Dayton, and Corcoran; and

WHEREAS, the Council has adopted 2040 Water Resources Policy Plan and Thrive MSP 2040; and

WHEREAS, the Council's long-term wastewater system plan includes a new wastewater reclamation plant to serve the City and potentially other areas outside of the City, thereby replacing the need for the City's wastewater treatment plant; and

WHEREAS, the Council's long-term capital improvement program, as stated in the 2040 Water Resources Policy Plan, projects construction of the Crow River wastewater reclamation plant by 2030; and

WHEREAS, the Council and the City recognize the challenges that must be addressed to enable construction of the Crow River wastewater reclamation plant, including environmental permitting and wastewater reuse implementation; and

WHEREAS, the Council has acquired property upon which to construct and operate the proposed Crow River wastewater reclamation plant; and

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WHEREAS, the City has adopted a resolution of support for land exchange between the Council and Three Rivers Park District to optimize property utilization for the Crow River wastewater reclamation plant; and

WHEREAS, the Council intends to meet its commitment to the City to provide regional wastewater service to support the growth of the City and the surrounding communities; and

WHEREAS, the City and the Council agree to work cooperatively on developing an interceptor to connect to the future regional Crow River wastewater reclamation plant for the conveyance of the neighboring communities sewage flow; and

WHEREAS, the City and the Council agree to work cooperatively on the final decommissioning of the existing Rogers wastewater treatment plant with regards to the in place facilities and bio solids, and

WHEREAS, the Council desires to optimize the use of existing City and Council wastewater facilities for the benefit of the City and the Region.

NOW, THEREFORE, the City and the Council hereby agree as follows:

A. Council Responsibilities
    1. The Council shall proceed in good faith to construct the Crow River wastewater reclamation plant by 2030 and to decommission the City's wastewater treatment plant within one year after successful startup and operation of the Crow River plant.
    2. The Council shall collaborate with the City to optimize the use of the City's wastewater treatment plant and the Council's Elm Creek Interceptor during the interim period before the delivery of the Crow River reclamation plant.
    3. The Council shall accept the City's wastewater treatment plant solids for processing through the Council's regional wastewater system, in the interim period until the Council has acquired the City's plant.
    4. The Council shall acquire the City's wastewater treatment plant through execution of a separate acquisition agreement with the City and shall initiate that process following written request from the City.
    5. The Council shall not expand the City's wastewater treatment plant after acquiring it.
    6. The Council may implement solids-handling and regulatory-driven improvements at the City's wastewater treatment plant after acquiring it.
    7. The Council shall provide wastewater service to the City, consistent with the City's comprehensive sewer plan's land uses and service areas.
    8. The Council has not approved the City's wastewater flow projections and shall not be committed to providing service based on the City's wastewater flow projections.

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9. The Council shall return the land to the City at no cost after decommissioning the plant.

10. The Council shall collaborate with the City before implementing the Council's responsibilities under this Agreement.

B. City Responsibilities

1. The City shall cooperate and collaborate with the Council to meet its responsibilities under this Agreement.

2. The City shall transfer to the Council the necessary portion of the property on with the City's wastewater treatment facility is located for the lift station that will be necessary to divert flow to the Crow River wastewater reclamation plant.

3. The City, if requested by the Council, shall act as the Council's agent to temporarily divert a portion of the City's sewered area to the Elm Creek Interceptor, to ensure adequate capacity to support the City's growth until the Crow River wastewater reclamation plant is operational.

C. Financial Considerations

1. The Council's acquisition of the City's wastewater treatment plant will be implemented in accordance with Minnesota Statutes Section 473.511. Specific terms and conditions will be incorporated into the acquisition agreement.

2. If the Council requests the City to act as its agent to divert a portion of the sewered area to the Elm Creek Interceptor, specific terms and conditions will be incorporated into this Agreement by an amendment that is mutually agreeable to the parties.

3. If the Council receives and processes the City's wastewater treatment plant solids during the period before the Council acquires the City plant, the receiving location shall be the Metropolitan Wastewater Treatment Plant, and the City's cost shall be the Council's industrial load charge.

4. Sewer availability charges (SAC) shall be collected by the City and remitted to the Council for new connections and increased capacity for existing users, in accordance with Council SAC policies and procedures. Properties already served with public sanitary sewer services at the time of flow diversion to the Elm Creek Interceptor or the acquisition of the City's wastewater treatment plant shall be governed by the Council's SAC Procedure 5.6.2.

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Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.11

Subject: Approval of Scope of Services from WSB for Industrial Blvd Extension Plat

Prepared By: John Seifert; Public Works Director

Recommended City Council Action
Motion to approve the scope of service with WSB engineering for the creation of a new plat along Industrial Blvd.

Overview / Background
The Rogers City Council has undertaken the development of a street construction project that will deliver the extension of Industrial Boulevard to Hennepin County State Aid Highway 144. As part of this project the City Council is in need of additional construction limits.

The City Council previously approved a land exchange agreement with the adjacent property owner to the Industrial Boulevard. As part of the land exchange agreement, the Council has also directed and approved a separate purchase agreement for the acquisition of necessary right-of-way (ROW). In order to execute the details for the purchase agreement the City has undertaken the development of a plat that will provide for the newly created parcels and dedicated road ROW.

City staff has worked in conjunction with the City Engineer to provide the attached scope of services to facilitate the development of a plat and execution of the recording with the County. At this time Ciity staff is recommending the approval of the scope of services to WSB for this purpose.

Staff Recommendation
Motion to approve the scope of service with WSB engineering for the creation of a new plat along Industrial Blvd.

Financial Impact: $9900 **Budgeted?** Yes **Source Fund:** 402-1707
Notes:

ATTACHMENTS:
Description
Scope of Services from WSB for Industrial Blvd Extension Plat

701 Xenia Avenue South | Suite 300 | Minneapolis, MN 55416 | (763) 541-4800

October 17, 2018

RE: Proposal for Surveying Services, Preliminary and Final Plat

On behalf of WSB & Associates, Inc., I am very pleased to respond to your request for proposal for surveying services, It is our understanding that you are looking for a preliminary and final plat of the area known as Hanson Sand and Gravel (see Exhibit A on page 2)

TASK 1- Draft Plat

- Create a survey of the properties shown on Exhibit A
- Field survey to verify monuments and tie in section
- Incorporate proposed design into Preliminary survey.
- City review, finalize parcels and right of way line.
- Review title commitment. (Already complete)
- Create drawing and finalize legal descriptions.
- Make final revisions per City comments.
-

TASK 2 -Final Plat

- Clean up the Preliminary Plat to make Final Plat
- Create drawing suitable for City and County Review
- Submit Plat and Title Commitment to county for review
- Make any necessary County revisions.
- Make Mylars of final Plat.
- Set monuments at each corner per statutes

WSB will prepare this survey on an hourly basis in accordance with our fee schedule for a not-to-exceed fee of:

• Task 1	$4900.00
• Task 2	$3400.00
• Plat checking fees	$1000.00
• Mylar fee	$600.00

We are looking forward to working with you on this project. If you have any questions regarding this proposal please contact me at 763-287-7159.

Sincerely,
WSB & Associates, Inc.

Pete Helder
Survey Group Coordinator

EXHIBIT A

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.12

Subject: Accept Improvements and Approve Final Payment for the Brockton Lane Utilities Improvement Project

Prepared By: Bret A. Weiss, City Engineer

Recommended City Council Action

Accept Improvements and approve final payment in the amount of $77,702.95 to Kuechle Underground, Inc. for the Brockton Lane Utility Extension Project.

Overview / Background

The project included the extension of trunk sanitary sewer and watermain from the CLAM site along Brockton Lane south to CSAH 81 in an effort to provide the existing property owners that currently have failing septic systems with access to City sewer and water. The project also included the extension of watermain across both CSAH 81 and the existing railroad tracks to facilitate a crossing of I-94 for the Lennar Development.

City Council also authorized Bid Alternate 2 which was to extend watermain across Brockton Lane to serve the French Lake Development (Liberty) which is located on the east side of Brockton Lane at Rogers Drive. This work was requested and funded by the developer.

Bid Alternate 1 was not accepted by the Council because the of the high bid costs associated with the work. Bid Alternate 1 included the extension of sanitary sewer across CSAH 81 to provide service to the area south of CSAH 81.

The final payment request represents the final quantities completed and the release of the retainage on the contract. The final construction costs are $610,043.66 which is $1,395.85 over the original contract amount of $608,647.81. The primary reason the final costs came in over the original contract amount is due to an additional manhole that was constructed at the M&M Property that was necessary to provide a connection to the existing service pipe from the building.

All construction and punch list items have been completed and have been inspected by the City and WSB staff and are in conformance with the project specifications.

The contractor has submitted all of the following documents, which have been forwarded to the City for final release of payment.

1. Satisfactory showing that the contractor has complied with the provisions of Minnesota Statutes 290.92 requiring withholding state income tax (IC134 forms).
2. Evidence in the form of an affidavit that all claims against the contractor by reasons of the contract have been fully paid or satisfactorily secured (lien waivers).

3. Consent of Surety to Final Payment certification from the contractor's surety.

Staff Recommendation

Staff recommends approving final payment in the amount of $77,702.95 to Kuechle Underground, Inc. for the Brockton Lane Utility Extension Project.

Financial Impact: $77,702.95 **Budgeted?** Yes

Source Fund: Sewer/Water Trunk, French Lake Development (Liberty)

Notes:

ATTACHMENTS:

Description

Final Pay Voucher

Letter of Recommendation

CITY OF ROGERS

22350 South Diamond Lake Road
Rogers, MN 55374-9336
Project 02169-88 - ROGR - Brockton Lane Utility Extension Project
Final Pay Voucher No. 5

Contractor: Kuechle Underground
10998 State Highway 55
Kimball, MN 55353

Contract No.
Vendor No.
For Period: 10/29/2016 - 3/2/2018
Warrant # _____ Date _____

Contract Amounts

Original Contract	$608,647.81
Contract Changes	$0.00
Revised Contract	$608,647.81

Funds Encumbered

Original	$608,647.81
Additional	N/A
Total	$608,647.81

Work Certified To Date

Base Bid Items	$610,043.66
Backsheet	$0.00
Change Order	$0.00
Supplemental Agreement	$0.00
Work Order	$0.00
Material On Hand	$0.00
Total	$610,043.66

	Work Certified This Pay Voucher	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date
02169-88	**$49,685.02**	**$610,043.66**	**$0.00**	**$532,340.71**	**$77,702.95**	**$610,043.66**
			Percent Retained: 0.0000%			
				Amount Paid This Final Pay Voucher	**$77,702.95**	

I hereby certify that a Final Examination has been made of the noted Contract, that the Contract has been completed, that the entire amount of Work Shown in this Final Voucher has been performed and the Total Value of the Work Performed in accordance with, and pursuant to, the terms of the Contract is as shown in this Final Voucher.

Recommended for Approval by:
WSB & Associates, Inc.

_____

Construction Observer:

_____

Approved by Contractor:
Kuechle Underground

_____

Approved by Owner:
City of Rogers

_____

_____

Date:

_____

CITY OF ROGERS
22350 South Diamond Lake Road
Rogers, MN 55374-9336
Project No. 02169-88
Final Pay Voucher No. 5

02169-88 Payment Summary

No.	From Date	To Date	Work Certified Per Pay Voucher	Amount Retained Per Pay Voucher	Amount Paid Per Pay Voucher
1	07/08/2016	07/29/2016	$78,146.50	$3,907.33	$74,239.17
2	07/30/2016	08/26/2016	$291,911.70	$14,595.58	$277,316.12
3	08/27/2016	09/30/2016	$116,410.33	$5,820.52	$110,589.81
4	10/01/2016	10/28/2016	$73,890.11	$3,694.50	$70,195.61
5	10/29/2016	03/02/2018	$49,685.02	($28,017.93)	$77,702.95
		Totals:	**$610,043.66**	**$0.00**	**$610,043.66**

02169-88 Funding Category Report

Funding Category No.	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date
UNF	610,043.65	0.00	532,340.71	77,702.94	610,043.65
Totals:	**$610,043.65**	**$0.00**	**$532,340.71**	**$77,702.94**	**$610,043.65**

02169-88 Funding Source Report

Accounting No.	Funding Source	Amount Paid This Pay Voucher	Revised Contract Amount	Funds Encumbered To Date	Paid To Contractor To Date
UNF	Unfunded	77,702.94	608,647.81	608,647.81	610,043.65
	Totals:	**$77,702.94**	**$608,647.81**	**$608,647.81**	**$610,043.65**

02169-88 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
SCHEDULE A - SURFACE IMPROVEMENTS									
1	2021.501	MOBILIZATION	LUMP SUM	$12,000.00	1	0.25	$3,000.00	1	$12,000.00
2	2101.501	CLEARING	TREE	$250.00	6	4	$1,000.00	6	$1,500.00
3	2101.506	GRUBBING	TREE	$250.00	6	4	$1,000.00	6	$1,500.00
4	2104.501	REMOVE PIPE CULVERTS	LIN FT	$1.00	205	0	$0.00	183.5	$183.50
5	2104.501	REMOVE RETAINING WALL	LIN FT	$5.00	230	0	$0.00	182	$910.00
6	2104.501	REMOVE AND REPLACE CURB AND GUTTER	LIN FT	$30.00	120	0	$0.00	32	$960.00
7	2104.503	REMOVE BITUMINOUS PAVEMENT	SQ FT	$0.50	13650	10225	$5,112.50	15220	$7,610.00
8	2104.509	REMOVE SEPTIC TANK	EACH	$1,500.00	2	1	$1,500.00	3	$4,500.00
9	2104.509	REMOVE SIGN	EACH	$25.00	2	0	$0.00	2	$50.00
10	2104.513	SAWCUT BITUMINOUS PAVEMENT (FULL DEPTH)	LIN FT	$3.50	750	0	$0.00	951	$3,328.50
11	2104.523	SALVAGE HYDRANT	EACH	$250.00	1	0	$0.00	1	$250.00
12	2104.601	ABANDON EXISTING WELLS	LUMP SUM	$5,000.00	1	0	$0.00	1	$5,000.00
13	2104.602	SALVAGE AND REINSTALL SIGN	EACH	$150.00	4	4	$600.00	4	$600.00
14	2104.602	SALVAGE AND REINSTALL MAILBOX	EACH	$500.00	1	0	$0.00	2	$1,000.00
15	2105.501	COMMON EXCAVATION (EV)	C Y	$10.00	3000	2296.3	$22,963.00	3375.3	$33,753.00
16	2105.522	SELECT GRANULAR BORROW (LV)	C Y	$14.00	1000	321.5	$4,501.00	991.5	$13,881.00
17	2105.525	TOPSOIL BORROW (LV)	CU YD	$25.00	200	0	$0.00	0	$0.00
18	2105.601	DEWATERING	LUMP SUM	$0.01	1	0	$0.00	0	$0.00
19	2105.609	GEOTEXTILE FABRIC TYPE V	SQ YD	$2.50	2800	0	$0.00	2617.8	$6,544.50
20	2211.501	AGGREGATE BASE CLASS 5	TON	$14.00	2500	6.2	$86.80	1886.2	$26,406.80
21	2357.502	BITUMINOUS MATERIAL FOR	GALLON	$3.06	160	0	$0.00	160	$489.60

02169-88 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
		TACK COAT							
22	2360.501	TYPE SP 9.5 WEARING COURSE MIXTURE (2,B)	TON	$79.00	360	0	$0.00	320.39	$25,310.81
23	2360.502	TYPE SP 12.5 NON WEARING COURSE MIXTURE (2,B)	TON	$70.00	410	0	$0.00	347.96	$24,357.20
24	2501.515	12" CM PIPE APRON	EACH	$190.00	2	0	$0.00	2	$380.00
25	2501.515	18" RC PIPE APRON	EACH	$860.00	2	0	$0.00	2	$1,720.00
26	2503.511	12" CM PIPE SEWER	LIN FT	$32.00	116	0	$0.00	115	$3,680.00
27	2503.511	18" RC PIPE SEWER CLASS IV	LIN FT	$42.00	80	0	$0.00	80	$3,360.00
28	2521.501	4" CONCRETE WALK	SQ FT	$3.95	720	0	$0.00	709.5	$2,802.53
29	2531.501	CONCRETE CURB & GUTTER DESIGN B612	LIN FT	$25.00	90	0	$0.00	77.5	$1,937.50
30	2563.601	TRAFFIC CONTROL	LUMP SUM	$2,400.00	1	0.25	$600.00	1	$2,400.00
31	2564.603	4" SOLID LINE WHITE-PAINT	LIN FT	$5.00	160	114	$570.00	114	$570.00
32	2573.535	CONSTRUCTION ENTRANCE	LUMP SUM	$750.00	1	0.5	$375.00	1	$750.00
33	2573.602	INLET PROTECTION	EACH	$250.00	2	0	$0.00	2	$500.00
34	2573.603	BIOROLL	LIN FT	$3.00	675	0	$0.00	100	$300.00
35	2575.501	SEEDING	ACRE	$2,800.00	2.5	0	$0.00	2.7	$7,560.00
36	2575.501	SEEDING - TEMPORARY	ACRE	$300.00	2.5	0	$0.00	0	$0.00
37	2575.502	SEED MIXTURE 325	POUND	$20.00	8	0	$0.00	0	$0.00
38	2575.502	SEED MIXTURE 350	POUND	$10.00	38	0	$0.00	0	$0.00
39	2575.523	EROSION CONTROL BLANKETS CATEGORY 1	SQ YD	$1.50	400	0	$0.00	0	$0.00
40	2575.608	SEED MIXTURE 250	POUND	$4.00	140	0	$0.00	190	$760.00
Totals For Section SCHEDULE A - SURFACE IMPROVEMENTS:							**$41,308.30**		**$196,854.94**
SCHEDULE B - SANITARY SEWER IMPROVEMENTS									
		CONNECT TO							

02169-88 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
41	2503.602	EXISTING SANITARY SEWER SERVICE	EACH	$540.00	1	0	$0.00	3	$1,620.00
42	2503.602	8"X6" PVC WYE	EACH	$720.00	3	0	$0.00	2	$1,440.00
43	2503.602	CONNECT TO EXISTING MANHOLES (SANITARY)	EACH	$1,800.00	1	0	$0.00	3	$5,400.00
44	2503.603	6" PVC SANITARY SERVICE PIPE	LIN FT	$18.00	170	0	$0.00	305.5	$5,499.00
45	2503.603	TELEVISE SANITARY SEWER	LIN FT	$1.50	1650	1520	$2,280.00	1520	$2,280.00
46	2503.603	8" PVC PIPE SEWER - SDR 35	LIN FT	$41.00	1650	0	$0.00	1520	$62,320.00
47	2506.602	CHIMNEY SEALS	EACH	$160.00	5	0	$0.00	7	$1,120.00
48	2506.603	CONSTRUCT 48" DIAMETER SANITARY SEWER MANHOLE	LIN FT	$210.00	73	0.85	$178.50	72.01	$15,122.10
Totals For Section SCHEDULE B - SANITARY SEWER IMPROVEMENTS:							**$2,458.50**		**$94,801.10**
SCHEDULE C - WATERMAIN IMPROVEMENTS									
49	2503.603	24" STEEL CASING PIPE (JACKED)	LIN FT	$310.00	302	0	$0.00	303	$93,930.00
50	2504.601	TEMPORARY WATER SERVICE	LS	$4,500.00	1	0	$0.00	0	$0.00
51	2504.602	CONNECT TO EXISTING WATER SERVICE	EACH	$680.00	1	0	$0.00	1	$680.00
52	2504.602	HYDRANT	EACH	$4,200.00	2	0	$0.00	2	$8,400.00
53	2504.602	6" GATE VALVE AND BOX	EACH	$1,400.00	4	0.5	$700.00	6.5	$9,100.00
54	2504.602	12" GATE VALVE AND BOX	EACH	$3,200.00	2	0	$0.00	2.5	$8,000.00
55	2504.602	INSTALL SALVAGED HYDRANT	EACH	$1,400.00	1	0	$0.00	1	$1,400.00
56	2504.602	CONNECT TO EXISTING WATERMAIN	EACH	$1,100.00	1	0	$0.00	1	$1,100.00
57	2504.603	2" TYPE K COPPER PIPE	LIN FT	$26.00	80	0	$0.00	50	$1,300.00

02169-88 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
58	2504.603	6" WATER MAIN-PVC C900	LIN FT	$31.00	82	0	$0.00	106	$3,286.00
59	2504.603	12" WATER MAIN-PVC C900	LIN FT	$48.00	1190	0	$0.00	1306.5	$62,712.00
60	2504.608	FITTINGS	POUND	$3.16	1600	559.8	$1,768.97	2889.8	$9,131.77
61	2540.601	RAILROAD CROSSING	LUMP SUM	$6,500.00	1	0	$0.00	1	$6,500.00
62	2563.610	FLAG PERSON	HOUR	$250.00	24	0	$0.00	63.25	$15,812.50
Totals For Section SCHEDULE C - WATERMAIN IMPROVEMENTS:							**$2,468.97**		**$221,352.27**
SCHEDULE E - BID ALTERNATE 2									
71	2021.501	MOBILIZATION	LUMP SUM	$2,500.00	1	0.25	$625.00	1	$2,500.00
72	2104.501	REMOVE WATERMAIN	LIN FT	$0.01	20	0	$0.00	10	$0.10
73	2104.523	SALVAGE AND REINSTALL PIPE CULVERT	EACH	$250.00	1	0	$0.00	0	$0.00
74	2502.604	2" INSULATION	S Y	$26.00	10	0	$0.00	0	$0.00
75	2503.601	SALVAGE AND REINSTALL GATE VALVE	EACH	$770.00	1	0	$0.00	1	$770.00
76	2503.603	24" STEEL CASING PIPE (JACKED)	LIN FT	$280.00	137	0	$0.00	137	$38,360.00
77	2504.602	HYDRANT	EACH	$4,200.00	1	0	$0.00	1	$4,200.00
78	2504.602	6" GATE VALVE AND BOX	EACH	$1,400.00	1	0	$0.00	1	$1,400.00
79	2504.602	12" GATE VALVE AND BOX	EACH	$3,200.00	3	0	$0.00	3	$9,600.00
80	2504.602	CONNECT TO EXISTING WATERMAIN	EACH	$1,100.00	1	1	$1,100.00	2	$2,200.00
81	2504.603	6" WATER MAIN-PVC C900	LIN FT	$31.00	5	0	$0.00	5	$155.00
82	2504.603	12" WATER MAIN-PVC C900	LIN FT	$48.00	440	0	$0.00	514.5	$24,696.00
83	2504.608	FITTINGS	POUND	$3.45	3400	242.1	$835.25	3242.1	$11,185.25
84	2563.601	TRAFFIC CONTROL	LUMP SUM	$100.00	1	0.25	$25.00	1	$100.00
85	2573.535	CONSTRUCTION ENTRANCE	LUMP SUM	$750.00	2	0	$0.00	0	$0.00
86	2573.603	BIOROLL	LIN FT	$3.00	600	0	$0.00	10	$30.00
87	2573.603	SILT FENCE TYPE MACHINE SLICED	LIN FT	$2.50	200	0	$0.00	390	$975.00
88	2575.501	SEEDING	ACRE	$2,800.00	0.28	0.28	$784.00	0.28	$784.00
89	2575.502	SEED MIXTURE	POUND	$4.00	20	20	$80.00	20	$80.00

02169-88 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
		250							
Totals For SCHEDULE E - BID ALTERNATE 2:							**$3,449.25**		**$97,035.35**
Project Totals:							**$49,685.02**		**$610,043.66**

701 Xenia Avenue South | Suite 300 | Minneapolis, MN 55416 | (763) 541-4800

October 23, 2018

Honorable Mayor and City Council
City of Rogers
22350 South Diamond Lake Road
Rogers, MN 55374

Re: Construction Pay Voucher No. 5 (Final) and
Final Project Close-out Documents
Brockton Lane Utility Extension Project
City of Rogers, MN
WSB Project No. 2169-880

Dear Mayor and Council Members:

Please find enclosed Construction Pay Voucher No. 5 and final (in triplicate) in the amount of $77,702.95 for the above-referenced project. The final payment request represents the final quantities and the release of the retainage on the contract. The quantities completed to date have been reviewed and agreed upon by the contractor and WSB.

We recommend that the City of Rogers approve Construction Pay Voucher No. 5 and final for Kuechle Underground, Inc. at the October 23, 2018, City Council meeting. **Once processed, please keep one copy for your records, forward one copy to the contractor, and return one copy to our office.** Enclosed is the documentation required for releasing final payment for the above-referenced project as listed below:

1. Satisfactory showing that the Contractor has complied with the provisions of Minnesota Statutes 290.92 requiring withholding state income tax (IC134 Forms).
2. Evidence in the form of an affidavit that all claims against the Contractor by reasons of the Contract have been fully paid or satisfactorily secured (lien waivers).
3. Consent of Surety to Final Payment Certification from the Contractor's surety.

This project will be considered for acceptance by the City Council on October 23, 2018.

If you have any questions or comments regarding the enclosed, please contact me at (763) 287-8529. Thank you.

Sincerely,

WSB & Associates, Inc.

Jennifer D. Edison

Jennifer D. Edison, PE
Project Manager

Enclosures

cc: John Seifert, City of Rogers
Stacy Scharber, City of Rogers
Steve Stahmer, City of Rogers
Lisa Herbert, City of Rogers
Geri Fournier, City of Rogers
Brandon Kuechle, Kuechle Underground, Inc.

srb

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.13

Subject: Approval of Disposal of Excess Items

Prepared By: John Seifert; Public Works Director

Recommended City Council Action
Motion to approve of the list of excess public property to be disposed of through public sale.

Overview / Background
The City of Rogers periodically disposes of excess public property through online auction services. Currently, City Staff has reviewed the excess items from the Public Works, Parks, Utilities and IT Departments as well as the Government Building, Recreation & Activity Center and the City's excess fleet items. The City intends to sell them by an on-line auction utilizing the services of Auction Masters.

The Public Works Department has assisted in gathering the list of property to be disposed of which is attached for Council approval.

City staff recommends proceeds from the public auction be deposited into the City's Revolving Capital/Equipment fund as previously directed by the Finance Director.

Analysis of Primary Issues

Staff Recommendation
Motion to approve of the list of excess public property to be disposed of through on-line auction by Auction Masters.

Financial Impact: Revenue **Budgeted?** Yes **Source Fund:** 400 Revolving Capital

Notes:

ATTACHMENTS:
Description
Items for Auction

Auction Items for Sale

Parks

1	3 point hockey rink ice scraper
2	hydroseeder
3	4 toilets
4	18 llghts
5	retaning wall block
6	slides/playground
7	fuel pumps 1 Diesal and 1 unleaded
8	picnic tables
9	card reader
10	wheelbarrow
11	lumber
12	split rail fence
13	steel rolling table
14	weedwhackers

Govt Bdlg

1	office furniture
2	door frames
3	roll of carpet
4	cash register
5	room divider
6	6 commemorative city banners
7	old aluminun signs
8	Rolling house files in the backroom upstairs (very heavy steelcase)
9	5 used steelcase office chairs
10	misc. office chairs (off brand)
11	sinks

IT Dept

1	laptops
2	pc's
3	monitors
4	misc electronics
5	vcr player
6	format copier
7	Kip large format printer
8	blue steeel server rack

Utilities

1	paddleboat

2	floats
3	pump

Mechanic

1	double Bunn coffee maker
2	two fuel pumps
3	tire holder
4	misc electronics
5	electric shop floor sweeper
6	gas boy island
7	gas boy keys
8	gas boy key coder
9	chop saw
10	steel rolling table

RAC

1	printer for receipts - hooks to money drawer
2	box of paper for printer
3	box of ink ribbon for printer
4	overhead projector

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.14

Subject: Accept Improvements and Approve Final Payment for the NE Hassan Street Improvement Project

Prepared By: Bret A. Weiss, City Engineer

Recommended City Council Action

Accept Improvements and approve final payment in the amount of $36,482.13 to Park Construction Company for the NE Hassan Street Improvements Project.

Overview / Background

The project included the reconstruction of streets in NE Rogers (north of 147th Avenue) in what was previously knowns as Hassan Township and was awarded in June 2017 according to the following:

- Base Bid - Improvements included reclaiming the existing bituminous and paving a full bituminous section over the reclaimed material and included the following streets:
  - Cherokee Drive N
  - Carol Lane
  - Country Road
  - 150th Ave N

- Bid Alternate - Improvements include reclaiming the existing bituminous and paving a full bituminous section over the reclaimed material with the exception of North Point Drive, which will only receive a 1.5-inch overlay based on its current pavement condition. These improvements include the following streets:
  - Frederick Rd
  - 148th Circle N
  - North Point Dr

Due to favorable bids that came in approximately $56,000 below the engineers estimate, the City Council approved a change order on August 22, 2017 to add improvements to Mainstone Way that included the following contract changes:

Original Contract	$551,397.43
Contract Changes (Change Order 1)	$55,316.40
Revised Contract	$606,713.69

The final payment request represents the final quantities completed and the release of the retainage on the contract. The final construction costs are $575,425.34 which is $31,288.35 under the original contract amount of $606,713.69. Primary reasons the final costs came in below the

original contract amount are:

- The project was bid with excess Class 5 in the event that the reclaimed material did not meet gradation for reuse on the proposed roadway. The reclaimed material did meet the specified gradations for use as aggregate material and the additional quantity for Class 5 aggregate was not used on the project.
- Driveway impacts were less significant than previously anticipated for the streets included in the Bid Alternate. When streets are reclaimed, the final street elevation is raised by the depth of the new bituminous pavements, and quantities for connecting to driveways at acceptable grades are typically estimated conservatively to accommodate for steeper driveways that require more pavement taken out for a smooth transition.
- Change Order 1 actual construction costs were $7,121.49 under the contract amount due to less than anticipated impacts to existing driveways.

All construction and punch list items have been completed and have been inspected by the City and WSB staff and are in conformance with the project specifications.

The contractor has submitted all of the following documents, which have been forwarded to the City for final release of payment.

1. Satisfactory showing that the contractor has complied with the provisions of Minnesota Statutes 290.92 requiring withholding state income tax (IC134 forms).
2. Evidence in the form of an affidavit that all claims against the contractor by reasons of the contract have been fully paid or satisfactorily secured (lien waivers).
3. Consent of Surety to Final Payment certification from the contractor's surety.
4. One-year maintenance bond.

Staff Recommendation

Staff recommends approving final payment in the amount of $36,482.13 to Park Construction Company for the NE Hassan Street Improvements Project.

ATTACHMENTS:

Description

Final Pay Voucher

Letter of Recommendation

CITY OF ROGERS

22350 South Diamond Lake Road
Rogers, MN 55374-9336
Project 03193-36 - ROGR - NE Hassan Street Improvements
Final Pay Voucher No. 4

Contractor: Park Construction Company - Mpls
1481 81st Avenue NE
Spring Lake Park, MN 55432

Contract No.
Vendor No. ,
For Period: 10/28/2017 - 10/2/2018
Warrant # _____ Date _____

Contract Amounts

Original Contract	$551,397.29
Contract Changes	$55,316.40
Revised Contract	$606,713.69

Funds Encumbered

Original	$551,397.29
Additional	N/A
Total	$551,397.29

Work Certified To Date

Base Bid Items	$527,230.43
Backsheet	$0.00
Change Order	$48,194.91
Supplemental Agreement	$0.00
Work Order	$0.00
Material On Hand	$0.00
Total	$575,425.34

	Work Certified This Pay Voucher	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date
03193-36	**$8,116.70**	**$575,425.34**	**$0.00**	**$538,943.21**	**$36,482.13**	**$575,425.34**
			Percent Retained: 0.0000%			
				Amount Paid This Final Pay Voucher	**$36,482.13**	

I hereby certify that a Final Examination has been made of the noted Contract, that the Contract has been completed, that the entire amount of Work Shown in this Final Voucher has been performed and the Total Value of the Work Performed in accordance with, and pursuant to, the terms of the Contract is as shown in this Final Voucher.

Recommended for Approval by:
WSB & Associates, Inc.

Construction Observer:

Approved by Contractor:
Park Construction Company - Mpls

Approved by Owner:
City of Rogers

Date:

CITY OF ROGERS
22350 South Diamond Lake Road
Rogers, MN 55374-9336
Project No. 03193-36
Final Pay Voucher No. 4

03193-36 Payment Summary

No.	From Date	To Date	Work Certified Per Pay Voucher	Amount Retained Per Pay Voucher	Amount Paid Per Pay Voucher
1	08/01/2017	09/01/2017	$89,502.75	$4,475.14	$85,027.61
2	09/02/2017	09/29/2017	$449,938.92	$22,496.94	$427,441.98
3	09/30/2017	10/27/2017	$27,866.97	$1,393.35	$26,473.62
4	10/28/2017	10/02/2018	$8,116.70	($28,365.43)	$36,482.13
		Totals:	**$575,425.34**	**$0.00**	**$575,425.34**

03193-36 Funding Category Report

Funding Category No.	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date
UNF	575,425.33	0.00	538,943.19	36,482.13	575,425.33
Totals:	**$575,425.33**	**$0.00**	**$538,943.19**	**$36,482.13**	**$575,425.33**

03193-36 Funding Source Report

Accounting No.	Funding Source	Amount Paid This Pay Voucher	Revised Contract Amount	Funds Encumbered To Date	Paid To Contractor To Date
UNF	Unfunded	36,482.13	606,713.69	551,397.29	575,425.33
	Totals:	**$36,482.13**	**$606,713.69**	**$551,397.29**	**$575,425.33**

03193-36 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
BASE BID - NE HASSAN STREET IMPROVEMENTS									
1	2021.501	MOBILIZATION	LS	$13,800.00	1	0	$0.00	1	$13,800.00
2	2104.503	REMOVE CONCRETE DRIVEWAY PAVEMENT	S F	$1.20	850	143	$171.60	1120.8	$1,344.96
3	2104.503	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	S F	$0.43	2210	0	$0.00	2467.4	$1,060.98
4	2104.505	REMOVE GRAVEL (DRIVEWAY)	SQ YD	$1.15	350	0	$0.00	892.2	$1,026.03
5	2104.511	SAWING CONCRETE PAVEMENT (FULL DEPTH)	L F	$4.90	140	16	$78.40	141.2	$691.88
6	2104.513	SAWING BIT PAVEMENT (FULL DEPTH)	L F	$2.95	325	0	$0.00	338.4	$998.28
7	2105.525	TOPSOIL BORROW (LV)	CU YD	$27.90	350	0	$0.00	390	$10,881.00
8	2112.501	SUBGRADE PREPARATION	RDST	$117.00	50	0	$0.00	50	$5,850.00
9	2211.501	AGGREGATE BASE CLASS 5	TON	$14.80	150	0	$0.00	0	$0.00
10	2215.501	FULL DEPTH RECLAMATION	S Y	$0.57	14395	0	$0.00	14395	$8,205.15
11	2215.604	STABILIZED FULL DEPTH RECLAMATION	S Y	$2.20	4650	0	$0.00	4873	$10,720.60
12	2321.503	BITUMINOUS MATERIAL FOR MIXTURE	GALLON	$1.70	11070	0	$0.00	14033	$23,856.10
13	2331.501	JOINT ADHESIVE - MASTIC	L F	$0.44	4930	0	$0.00	4940	$2,173.60
14	2357.502	BITUMINOUS MATERIAL FOR TACK COAT	GAL	$2.20	775	0	$0.00	640	$1,408.00
15	2360.501	TYPE SP 9.5 WEARING COURSE MIX (2,B)	TON	$92.50	120	0	$0.00	76.47	$7,073.48
16	2360.501	TYPE SP 9.5 WEARING COURSE MIX (2,C)	TON	$57.60	1410	0	$0.00	1387.91	$79,943.62
17	2360.502	TYPE SP 12.5 NON WEAR	TON	$53.40	2340	0	$0.00	2236.67	$119,438.18

03193-36 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
		COURSE MIX (2,C)							
18	2531.507	6" CONCRETE DRIVEWAY PAVEMENT	S Y	$80.80	95	37.38	$3,020.30	149.28	$12,061.82
19	2563.601	TRAFFIC CONTROL	LS	$707.00	1	0	$0.00	1	$707.00
20	2573.540	FILTER LOG TYPE WOOD FIBER BIOROLL	L F	$2.55	600	285	$726.75	285	$726.75
21	2573.602	TEMPORARY ROCK CONSTRUCTION ENTRANCE	EACH	$57.90	2	0	$0.00	0	$0.00
22	2575.501	SEEDING	ACRE	$758.00	1.2	0	$0.00	1.11	$841.38
23	2575.501	SEEDING - TEMPORARY	ACRE	$10.10	1.2	0	$0.00	0	$0.00
24	2575.502	SEED MIXTURE 25-121	LB	$3.55	72	0	$0.00	150	$532.50
Totals For Section BASE BID - NE HASSAN STREET IMPROVEMENTS:							**$3,997.05**		**$303,341.31**
BID ALTERNATE 1 - NE HASSAN IMPROVEMENTS									
25	2021.501	MOBILIZATION	LS	$2,020.00	1	0	$0.00	1	$2,020.00
26	2104.503	REMOVE CONCRETE DRIVEWAY PAVEMENT	S F	$1.80	150	0	$0.00	135	$243.00
27	2104.503	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	S F	$0.43	3100	0	$0.00	2033	$874.19
28	2104.503	REMOVE BITUMINOUS PAVEMENT	S Y	$5.40	1300	0	$0.00	0	$0.00
29	2104.505	REMOVE GRAVEL (DRIVEWAY)	SQ YD	$1.15	265	0	$0.00	673	$773.95
30	2104.511	SAWING CONCRETE PAVEMENT (FULL DEPTH)	L F	$4.90	24	0	$0.00	24	$117.60
31	2104.513	SAWING BIT PAVEMENT (FULL DEPTH)	L F	$2.95	371	0	$0.00	347	$1,023.65
32	2105.525	TOPSOIL BORROW (LV)	CU YD	$27.90	310	0	$0.00	334	$9,318.60
33	2112.501	SUBGRADE PREPARATION	RDST	$117.00	47	0	$0.00	47	$5,499.00
		AGGREGATE							

03193-36 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
34	2211.501	BASE CLASS 5	TON	$15.20	170	0	$0.00	0	$0.00
35	2215.501	FULL DEPTH RECLAMATION	S Y	$0.57	10940	0	$0.00	10940	$6,235.80
36	2231.501	BITUMINOUS PATCHING MIXTURE	TON	$78.90	65	0	$0.00	0	$0.00
37	2232.501	MILL BITUMINOUS SURFACE	S Y	$4.50	50	0	$0.00	90	$405.00
38	2331.501	JOINT ADHESIVE - MASTIC	L F	$0.44	4755	0	$0.00	4370	$1,922.80
39	2357.502	BITUMINOUS MATERIAL FOR TACK COAT	GAL	$2.20	745	0	$0.00	810	$1,782.00
40	2360.501	TYPE SP 9.5 WEARING COURSE MIX (2,B)	TON	$92.50	440	36.68	$3,392.90	172.79	$15,983.08
41	2360.501	TYPE SP 9.5 WEARING COURSE MIX (2,C)	TON	$57.60	1070	0	$0.00	1446.61	$83,324.74
42	2360.502	TYPE SP 12.5 NON WEAR COURSE MIX (2,C)	TON	$53.40	1780	0	$0.00	1687.26	$90,099.68
43	2531.507	6" CONCRETE DRIVEWAY PAVEMENT	S Y	$80.80	20	0	$0.00	26.3	$2,125.04
44	2563.601	TRAFFIC CONTROL	LS	$101.00	1	0	$0.00	1	$101.00
45	2573.540	FILTER LOG TYPE WOOD FIBER BIOROLL	L F	$2.55	650	285	$726.75	285	$726.75
46	2573.602	TEMPORARY ROCK CONSTRUCTION ENTRANCE	EACH	$58.70	1	0	$0.00	0	$0.00
47	2575.501	SEEDING	ACRE	$758.00	1.12	0	$0.00	1.03	$780.74
48	2575.501	SEEDING - TEMPORARY	ACRE	$10.10	1.12	0	$0.00	0	$0.00
49	2575.502	SEED MIXTURE 25-121	LB	$3.55	70	0	$0.00	150	$532.50
Totals For Section BID ALTERNATE 1 - NE HASSAN IMPROVEMENTS:							**$4,119.65**		**$223,889.12**
Change Order 1									
50	2021.501	MOBILIZATION	LS	$3,500.00	1	0	$0.00	1	$3,500.00
		REMOVE CONCRETE							

03193-36 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
51	2104.503	DRIVEWAY PAVEMENT	S F	$0.43	990	0	$0.00	0	$0.00
52	2104.503	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	S F	$0.43	810	0	$0.00	786.82	$338.33
53	2104.511	SAWING CONCRETE PAVEMENT (FULL DEPTH)	L F	$4.90	45	0	$0.00	0	$0.00
54	2104.513	SAWING BIT PAVEMENT (FULL DEPTH)	L F	$2.95	100	0	$0.00	158	$466.10
55	2112.501	SUBGRADE PREPARATION	RDST	$117.00	8	0	$0.00	8	$936.00
56	2211.501	AGGREGATE BASE CLASS 5	TON	$15.80	58	0	$0.00	0	$0.00
57	2215.501	FULL DEPTH RECLAMATION	S Y	$3.00	2250	0	$0.00	2469.4	$7,408.20
58	2331.501	JOINT ADHESIVE - MASTIC	L F	$0.44	800	0	$0.00	643	$282.92
59	2357.502	BITUMINOUS MATERIAL FOR TACK COAT	GAL	$2.20	250	0	$0.00	0	$0.00
60	2360.501	TYPE SP 9.5 WEARING COURSE MIX (2,B)	TON	$92.50	18	0	$0.00	15	$1,387.50
61	2360.501	TYPE SP 9.5 WEARING COURSE MIX (2,C)	TON	$58.75	210	0	$0.00	223.14	$13,109.48
62	2360.502	TYPE SP 12.5 NON WEAR COURSE MIX (2,C)	TON	$55.50	340	0	$0.00	365.16	$20,266.38
63	2531.507	6" CONCRETE DRIVEWAY PAVEMENT	S Y	$85.00	90	0	$0.00	0	$0.00
64	2563.601	TRAFFIC CONTROL	LS	$500.00	1	0	$0.00	1	$500.00
					Totals For Change Order 1:		**$0.00**		**$48,194.91**
					Project Totals:		**$8,116.70**		**$575,425.34**

03193-36 Contract Changes

No.	Type	Date	Explanation	Estimated Amount	Amount Paid To Date

03193-36 Contract Changes

No.	Type	Date	Explanation	Estimated Amount	Amount Paid To Date
CO1	Change Order	8/22/2017	Change Order No. 1 (see change order document for details)	$55,316.40	$48,194.91
			Contract Change Totals:	**$55,316.40**	**$48,194.91**

701 Xenia Avenue South | Suite 300 | Minneapolis, MN 55416 | (763) 541-4800

October 23, 2018

Honorable Mayor and City Council
City of Rogers
22350 South Diamond Lake Road
Rogers, MN 55374

Re: Construction Pay Voucher No. 4 (Final) and
Final Project Close-out Documents
NE Hassan Street Improvements Project
City of Rogers, MN
WSB Project No. 3193-360

Dear Mayor and Council Members:

Please find enclosed Construction Pay Voucher No. 4 and final (in triplicate) in the amount of $36,482.13 for the above-referenced project. The final payment request represents the final quantities and the release of the retainage on the contract. The quantities completed to date have been reviewed and agreed upon by the contractor and WSB.

We recommend that the City of Rogers approve Construction Pay Voucher No. 4 and final for Park Construction Company at the October 23, 2018, City Council meeting. **Once processed, please keep one copy for your records, forward one copy to the contractor, and return one copy to our office.** Enclosed is the documentation required for releasing final payment for the above-referenced project as listed below:

1. Satisfactory showing that the Contractor has complied with the provisions of Minnesota Statutes 290.92 requiring withholding state income tax (IC134 Forms).
2. Evidence in the form of an affidavit that all claims against the Contractor by reasons of the Contract have been fully paid or satisfactorily secured (lien waivers).
3. Consent of Surety to Final Payment Certification from the Contractor's surety.
4. One-year maintenance bond.

This project will be considered for acceptance by the City Council on October 23, 2018. The maintenance period will be in effect from October 23, 2018, until October 23, 2019.

If you have any questions or comments regarding the enclosed, please contact me at (763) 287-8529. Thank you.

Sincerely,

WSB & Associates, Inc.

Jennifer D. Edison, PE
Project Manager

Enclosures

cc: John Seifert, City of Rogers
Stacy Scharber, City of Rogers
Steve Stahmer, City of Rogers
Lisa Herbert, City of Rogers (w/original maintenance bond)
Geri Fournier, City of Rogers
Steve Brown, Park Construction Company

srb

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.15

Subject: Accept Improvements and Approve Final Payment for the South Diamond Lake Road/Brockton Lane Intersection Improvement Project

Prepared By: Bret A. Weiss, City Engineer

Recommended City Council Action
Accept Improvements and approve final payment in the amount of $10,000.77 to New Look Contracting, Inc. for the Intersection Improvements at South Diamond Lake Road and CSAH 13 (Brockton Lane).

Overview / Background
Revisions to the intersection included geometric modifications to the southwest quadrant to accommodate a WB-67 truck. The geometric changes required the relocation of the power poles on the west side of Brockton Lane and the construction of a “pork chop” island to avoid shifting the signal pole to the south. Modifications to this intersection were identified in the Kinghorn Traffic Study which was completed in 2014 to study traffic impacts related to the FedEx Development.

The final payment request represents the final quantities completed and the release of the retainage on the contract. The final construction costs are $162,547.30 which is $454.65 over the original contract amount of $162,092.65, which is due to slight quantity overages associated with curb and gutter and bituminous pavement as negotiated with the contractor.

All construction and punch list items have been completed and have been inspected by the City and WSB staff and are in conformance with the project specifications.

The contractor has submitted all of the following documents, which have been forwarded to the City for final release of payment.

1. Satisfactory showing that the contractor has complied with the provisions of Minnesota Statutes 290.92 requiring withholding state income tax (IC134 forms).
2. Evidence in the form of an affidavit that all claims against the contractor by reasons of the contract have been fully paid or satisfactorily secured (lien waivers).
3. Consent of Surety to Final Payment certification from the contractor’s surety.

Staff Recommendation
Staff recommends approving final payment in the amount of $10,000.77 to New Look Contracting, Inc. for the Intersection Improvements at South Diamond Lake Road and CSAH 13 (Brockton Lane).

Financial Impact: $10,000.77 **Budgeted?** Yes **Source Fund:** Fund 402

Notes:

ATTACHMENTS:

Description

Final Pay Voucher

Letter of Recommendation

CITY OF ROGERS

22350 South Diamond Lake Road
Rogers, MN 55374-9336
Project 02169-89 - ROGR - SDLR and Brockton Improvements
Final Pay Voucher No. 4

Contractor: New Look Contracting, Inc.
14045 Northdale Boulevard
Rogers, MN 55374

Contract No.
Vendor No. .
For Period: 10/28/2017 - 10/3/2018
Warrant # _____ Date _____

Contract Amounts

Original Contract	$139,315.75
Contract Changes	$22,776.90
Revised Contract	$162,092.65

Funds Encumbered

Original	$139,315.75
Additional	N/A
Total	$139,315.75

Work Certified To Date

Base Bid Items	$139,770.40
Backsheet	$0.00
Change Order	$22,776.90
Supplemental Agreement	$0.00
Work Order	$0.00
Material On Hand	$0.00
Total	$162,547.30

	Work Certified This Pay Voucher	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date
02169-89	**$1,972.00**	**$162,547.30**	**$0.00**	**$152,546.53**	**$10,000.77**	**$162,547.30**
			Percent Retained: 0.0000%			
				Amount Paid This Final Pay Voucher	**$10,000.77**	

I hereby certify that a Final Examination has been made of the noted Contract, that the Contract has been completed, that the entire amount of Work Shown in this Final Voucher has been performed and the Total Value of the Work Performed in accordance with, and pursuant to, the terms of the Contract is as shown in this Final Voucher.

Recommended for Approval by:
WSB & Associates, Inc.

Construction Observer:

Approved by Contractor:
New Look Contracting, Inc.

Approved by Owner:
City of Rogers

Date:

CITY OF ROGERS
22350 South Diamond Lake Road
Rogers, MN 55374-9336
Project No. 02169-89
Final Pay Voucher No. 4

02169-89 Payment Summary

No.	From Date	To Date	Work Certified Per Pay Voucher	Amount Retained Per Pay Voucher	Amount Paid Per Pay Voucher
1	10/10/2016	10/28/2016	$35,233.50	$1,761.68	$33,471.82
2	10/29/2016	11/30/2016	$88,900.60	$4,445.03	$84,455.57
3	12/01/2016	10/27/2017	$36,441.20	$1,822.06	$34,619.14
4	10/28/2017	10/03/2018	$1,972.00	($8,028.77)	$10,000.77
		Totals:	**$162,547.30**	**$0.00**	**$162,547.30**

02169-89 Funding Category Report

Funding Category No.	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date
UNF	162,547.30	0.00	152,546.53	10,000.77	162,547.30
Totals:	**$162,547.30**	**$0.00**	**$152,546.53**	**$10,000.77**	**$162,547.30**

02169-89 Funding Source Report

Accounting No.	Funding Source	Amount Paid This Pay Voucher	Revised Contract Amount	Funds Encumbered To Date	Paid To Contractor To Date
UNF	Unfunded	10,000.77	162,092.65	139,315.75	162,547.30
	Totals:	**$10,000.77**	**$162,092.65**	**$139,315.75**	**$162,547.30**

02169-89 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
South Diamond Lake Rd/Brockton Ln									
1	2021.501	MOBILIZATION	LS	$11,750.00	1	0	$0.00	1	$11,750.00
2	2101.502	CLEARING	TREE	$100.00	3	0	$0.00	1	$100.00
3	2101.507	GRUBBING	TREE	$50.00	3	0	$0.00	1	$50.00
4	2102.502	PAVEMENT MARKING REMOVAL	L F	$0.75	1100	0	$0.00	1613	$1,209.75
5	2104.501	REMOVE SEWER PIPE (STORM)	L F	$15.00	53	0	$0.00	53	$795.00
6	2104.501	REMOVE CURB & GUTTER	L F	$4.00	310	0	$0.00	323	$1,292.00
7	2104.505	REMOVE BITUMINOUS PAVEMENT	S Y	$9.00	128	0	$0.00	146	$1,314.00
8	2104.509	REMOVE PIPE APRON	EACH	$300.00	1	0	$0.00	2	$600.00
9	2104.509	REMOVE CASTING	EACH	$100.00	1	0	$0.00	1	$100.00
10	2104.509	REMOVE DRAINAGE STRUCTURE	EACH	$500.00	2	0	$0.00	2	$1,000.00
11	2104.509	SALVAGE & INSTALL CASTING	EACH	$500.00	3	0	$0.00	3	$1,500.00
12	2104.513	SAWING BIT PAVEMENT (FULL DEPTH)	L F	$2.00	730	0	$0.00	750	$1,500.00
13	2104.523	SALVAGE AND INSTALL SIGN	EACH	$175.00	2	0	$0.00	0	$0.00
14	2105.501	COMMON EXCAVATION (P)	C Y	$13.00	1400	0	$0.00	1400	$18,200.00
15	2105.522	SELECT GRANULAR BORROW (CV)	C Y	$16.00	580	0	$0.00	562.5	$9,000.00
16	2105.525	TOPSOIL BORROW (LV)	CU YD	$25.00	75	0	$0.00	40	$1,000.00
17	2105.604	GEOTEXTILE FABRIC TYPE V	S Y	$2.00	1300	0	$0.00	1300	$2,600.00
18	2105.607	COMMON EXCAVATION (SPECIAL)	CU YD	$25.00	50	0	$0.00	0	$0.00
19	2211.501	AGGREGATE BASE CLASS 5	TON	$16.00	600	0	$0.00	697.2	$11,155.20
		SHOULDER							

02169-89 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
20	2221.501	BASE AGGREGATE CLASS 2	TON	$50.00	55	0	$0.00	49.91	$2,495.50
21	2360.501	TYPE SP 9.5 WEARING COURSE MIX (2,C)	TON	$85.00	270	23.2	$1,972.00	269.71	$22,925.35
22	2360.502	TYPE SP 12.5 NON WEAR COURSE MIX (2,B)	TON	$80.00	100	0	$0.00	150.38	$12,030.40
23	2501.515	21" RC PIPE APRON	EACH	$1,750.00	1	0	$0.00	1	$1,750.00
24	2503.511	15" RC PIPE SEWER CLASS V	L F	$50.00	26	0	$0.00	26	$1,300.00
25	2503.511	21" RC PIPE SEWER CLASS III	L F	$50.00	56	0	$0.00	56	$2,800.00
26	2503.602	CONNECT TO EXISTING STORM SEWER	EACH	$350.00	2	0	$0.00	3	$1,050.00
27	2506.501	CONST DRAINAGE STRUCTURE DES 48-4020	L F	$375.00	5	0	$0.00	5	$1,875.00
28	2506.501	CONST DRAINAGE STRUCTURE DES 60-4020	L F	$500.00	5	0	$0.00	4.34	$2,170.00
29	2506.516	CASTING ASSEMBLY	EACH	$750.00	1	0	$0.00	1	$750.00
30	2506.602	RECONSTRUCT MANHOLES	EACH	$850.00	2	0	$0.00	3	$2,550.00
31	2511.607	RANDOM RIPRAP	C Y	$100.00	6	0	$0.00	16.17	$1,617.00
32	2521.501	3" CONCRETE WALK	S F	$6.50	680	0	$0.00	667	$4,335.50
33	2531.501	CONCRETE CURB & GUTTER DESIGN B424	L F	$22.00	290	0	$0.00	275	$6,050.00
34	2531.501	CONCRETE CURB & GUTTER DESIGN B618	L F	$21.00	180	0	$0.00	201	$4,221.00
35	2563.601	TRAFFIC CONTROL	LS	$1,600.00	1	0	$0.00	1	$1,600.00

02169-89 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
36	2564.531	SIGN PANELS TYPE C	S F	$36.00	31	0	$0.00	35	$1,260.00
37	2564.602	PAVEMENT MESSAGE (LEFT ARROW) EPOXY	EACH	$240.00	3	0	$0.00	1	$240.00
38	2564.602	PAVEMENT MESSAGE (RIGHT ARROW) EPOXY	EACH	$240.00	3	0	$0.00	2	$480.00
39	2564.602	PAVEMENT MESSAGE (THRU ARROW) EPOXY	EACH	$240.00	2	0	$0.00	0	$0.00
40	2564.603	4" SOLID LINE WHITE-EPOXY	LIN FT	$0.35	1965	0	$0.00	872	$305.20
41	2564.603	4" SOLID LINE YELLOW-EPOXY	LIN FT	$0.35	300	0	$0.00	0	$0.00
42	2564.603	24" SOLID LINE YELLOW-EPOXY	LIN FT	$15.00	60	0	$0.00	18.5	$277.50
43	2564.603	4" DOUBLE SOLID LINE YELLOW-EPOXY	LIN FT	$1.00	720	0	$0.00	597	$597.00
44	2573.502	SILT FENCE, TYPE MS	L F	$2.00	700	0	$0.00	700	$1,400.00
45	2573.530	STORM DRAIN INLET PROTECTION	EACH	$200.00	5	0	$0.00	1	$200.00
46	2573.533	SEDIMENT CONTROL LOG TYPE STRAW	L F	$3.00	200	0	$0.00	0	$0.00
47	2575.501	SEEDING	ACRE	$1,500.00	0.35	0	$0.00	0.25	$375.00
48	2575.502	SEED MIXTURE 25-141	LB	$10.00	21	0	$0.00	15	$150.00
49	2575.523	EROSION CONTROL BLANKETS CATEGORY 3	S Y	$1.50	1700	0	$0.00	1200	$1,800.00
Totals For Section South Diamond Lake Rd/Brockton Ln:							**$1,972.00**		**$139,770.40**
Change Order 1									
50	2104.501	REMOVE SEWER PIPE (STORM)	L F	$15.00	189	0	$0.00	189	$2,835.00

02169-89 Project Material Status

Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
51	2232.604	MILL BITUMINOUS PAVEMENT	S Y	$4.00	1225	0	$0.00	1225	$4,900.00
52	2501.515	15" RC PIPE APRON	EACH	$850.00	1	0	$0.00	1	$850.00
53	2503.511	15" RC PIPE SEWER CLASS V	L F	$50.00	48	0	$0.00	48	$2,400.00
54	2503.511	21" RC PIPE SEWER CLASS III	L F	$50.00	146.6	0	$0.00	146.6	$7,330.00
55	2504.602	ADJUST GATE VALVE & BOX	EACH	$500.00	1	0	$0.00	1	$500.00
56	2506.501	CONST DRAINAGE STRUCTURE DES 48-4020	L F	$375.00	5.06	0	$0.00	5.06	$1,897.50
57	2582.502	6" SOLID LINE EPOXY GR IN	L F	$1.30	1588	0	$0.00	1588	$2,064.40
					Totals For Change Order 1:		**$0.00**		**$22,776.90**
					Project Totals:		**$1,972.00**		**$162,547.30**

02169-89 Contract Changes

No.	Type	Date	Explanation	Estimated Amount	Amount Paid To Date
CO1	Change Order	10/16/2017	Change Order No. 1 (see change order document for details)	$22,776.90	$22,776.90
			Contract Change Totals:	**$22,776.90**	**$22,776.90**

701 Xenia Avenue South | Suite 300 | Minneapolis, MN 55416 | (763) 541-4800

October 23, 2018

Honorable Mayor and City Council
City of Rogers
22350 South Diamond Lake Road
Rogers, MN 55374

Re: Construction Pay Voucher No. 4 (Final) and
Final Project Close-out Documents
Brockton Lane (CSAH 13) at South Diamond Lake Road
Storm Sewer and Street Improvements
City of Rogers, MN
WSB Project No. 2169-890

Dear Mayor and Council Members:

Please find enclosed Construction Pay Voucher No. 4 and final (in triplicate) in the amount of $10,000.77 for the above-referenced project. The final payment request represents the final quantities and the release of the retainage on the contract. The quantities completed to date have been reviewed and agreed upon by the contractor and WSB.

We recommend that the City of Rogers approve Construction Pay Voucher No. 4 and final for New Look Contracting, Inc. at the October 23, 2018, City Council meeting. **Once processed, please keep one copy for your records, forward one copy to the contractor, and return one copy to our office.** Enclosed is the documentation required for releasing final payment for the above-referenced project as listed below:

1. Satisfactory showing that the Contractor has complied with the provisions of Minnesota Statutes 290.92 requiring withholding state income tax (IC134 Forms).
2. Evidence in the form of an affidavit that all claims against the Contractor by reasons of the Contract have been fully paid or satisfactorily secured (lien waivers).
3. Consent of Surety to Final Payment Certification from the Contractor's surety.

This project will be considered for acceptance by the City Council on October 23, 2018.

If you have any questions or comments regarding the enclosed, please contact me at (763) 287-8529. Thank you.

Sincerely,

WSB & Associates, Inc.

Jennifer D. Edison

Jennifer D. Edison, PE
Project Manager

Enclosures

cc: John Seifert, City of Rogers
Stacy Scharber, City of Rogers
Steve Stahmer, City of Rogers
Lisa Herbert, City of Rogers
Geri Fournier, City of Rogers
Nate Menge, New Look Contracting, Inc.

srb

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.16

Subject: Approval of Resolution 2018-85 A Resolution Authorizing Submittal of a Hennepin County Youth Sports Grant Application Reservoir Fields

Prepared By: Mike Bauer Recreation and Facilities Director

Recommended City Council Action

Move to Approve of Resolution 2018-85 Authorizing Submittal of a Hennepin County Youth Sports Grant Application Reservoir Fields.

Overview / Background

The Hennepin Youth Sports Program (HYSP) makes grants to local governments to improve youth athletic and recreation facilities and purchase capital equipment. State of Minnesota law authorizing the construction of Target Field allows Hennepin County to use proceeds from the 0.15% sales tax surcharge to award over $2 million each year for sports facilities and equipment. Since 2009, the program has awarded over $21 million to communities throughout Hennepin County. These projects have spurred over $90 million in matching funds. The sales tax surcharge also funds increased hours on Sundays at Hennepin County libraries.

HYSP has separate applications for facilities grants (awards from $10,000 to $300,000), capital equipment grants (up to $10,000), and playground structure grants (up to $25,000). Facilities grants are awarded once per year in December. Equipment grants are awarded twice per year, once in December and once in March. Playground structure grants are awarded once per year in March.

The Hennepin Youth Sports Program awards allow municipalities, park districts and school districts to create, expand or improve athletic or recreational facilities and to purchase new equipment. Individual equipment such as balls, bats, gloves, uniforms or protective gear are not eligible for equipment grants.

The Minnesota Amateur Sports Commission (MASC) is contracted to serve as the grant administrator for the Hennepin Youth Sports Program. MASC evaluates the applications and provides recommendations to the Hennepin County Board of Commissioners. The deadline to apply is November 5, 2018.

At the September Park Board Meeting staff was given the direction to prepare a grant application for completion of the Reservoir Fields Project. Reservoir Fields is the working title for the two planned multipurpose fields adjacent to the ground storage reservoir north of the Roger High School athletic fields. This project would encompass digging a well, drain tiling, fine grading, seeding and irrigating the fields, and installing a non-potable water line to RHS Varsity Baseball Field and building a parking lot. With the continued growth of lacrosse, especially girl's lacrosse, there is a need to add additional multipurpose field space.

Project	Estimate
Field Items	$152,000

Irrigation and Well	$43,000
Parking Lot	$125,000
Estimated Total	$320,000

Staff is awaiting a letter of intent from ISD 728 and Rogers Youth Lacrosse for forming additional funding partners for this project. Total project estimate for the construction of the project is $320,000. This cost is inclusive of construction, site work, furnishings, and fees.
Funding for the Project is planned to be split as follows:

Responsible Party	Dollar Amount	Percentage
Hennepin County Youth Sports Grant	$180,000	56%
City of Rogers	$80,000	25%
Rogers School District	$50,000	16%
Rogers Youth Lacrosse	$10,000	3%
Total	$320,000.00	100%

This is a reimbursement grant where if successful the City of Rogers would have to spend at least $180,000 and be reimbursed after the completion of the project. The requested commitment from Rogers Youth Lacrosse would be paid back to the City of Rogers via five annual installments of $2,000 after the completion of the fields. The City of Rogers funds would come from Park Dedication funds. The HYSP requires that a single Local Government Unit (LGU) is responsible for the non-county match, even though funds will come from other sources, which is why the impact is less than what is stated in the resolution.

Staff Recommendation
Approval of Resolution 2018-85 and Hennepin County Youth Sports Grant Application for Reservoir Fields.

Financial Impact: $80,000 **Budgeted?** **Source Fund:** 404- Park Dedication

Notes:

ATTACHMENTS:

Description
Resolution 2018-85
HYSP Grant Application
Reservoir Field Layout

Resolution No. 2018 – 85

A RESOLUTION AUTHORIZING SUBMITTAL OF A HENNEPIN COUNTY YOUTH SPORTS GRANT APPLICATION FOR THE RESERVOIR FIELDS

WHEREAS, the Hennepin County Board of Commissioners, via the Hennepin Youth Sports Program, provides for capital funds to assist local government units of Hennepin County for the development of sports or recreational facilities; and

WHEREAS, the City of Rogers (local government unit, hereinafter LGU) desires to develop Reservoir Fields Two Multi-Purpose Fields, Irrigation and Parking Related (name of project, hereinafter PROJECT) for the purpose of benefiting youth athletics.

NOW, THEREFORE, BE IT RESOLVED by the City of Rogers (authorizing entity) of the LGU that:

I. The estimate of the total cost of developing PROJECT shall be $320,000. The LGU is requesting ($180,000) from the Hennepin Youth Sports Program and will assume responsibility for a matching funds requirement of ($140,000).

II. LGU agrees to own and assume one hundred (100) percent of operational and maintenance costs for PROJECT. LGU will operate PROJECT for its intended purpose for the functional life of the facility, which is estimated to be 30 years.

III. LGU agrees to enter into necessary and required agreements with Hennepin County for the specific purpose of developing PROJECT and managing its long-term operation.

IV. That the Mayor (authorized representative of the LGU) is authorized and directed to execute the application for the Hennepin Youth Sports Program grant.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23rd day of October, 2018.

_____
Mayor

ATTEST:

_____
City Clerk

Hennepin Youth Sports Program Facility Application Form

Name and address of project Reservoir Fields 21098 145th Ave N Rogers, MN 55374
County Commissioner District Number where facility is located 7 Jeff Johnson
Local Government Unit (LGU) City of Rogers
LGU Application contact (Name, mailing address, email and telephone) City of Rogers % Mike Bauer 22350 South Diamond Lake Road Rogers, MN 55374 763-428-0974 mbauer@rogersmn.gov
LGU Public Affairs contact (Name, email and telephone) Mike Bauer 22350 South Diamond Lake Road Rogers, MN 55374 763-428-0974 mbauer@rogersmn.gov
Minnesota Tax ID Number 5034223
Federal Employee ID Number 41-1243530

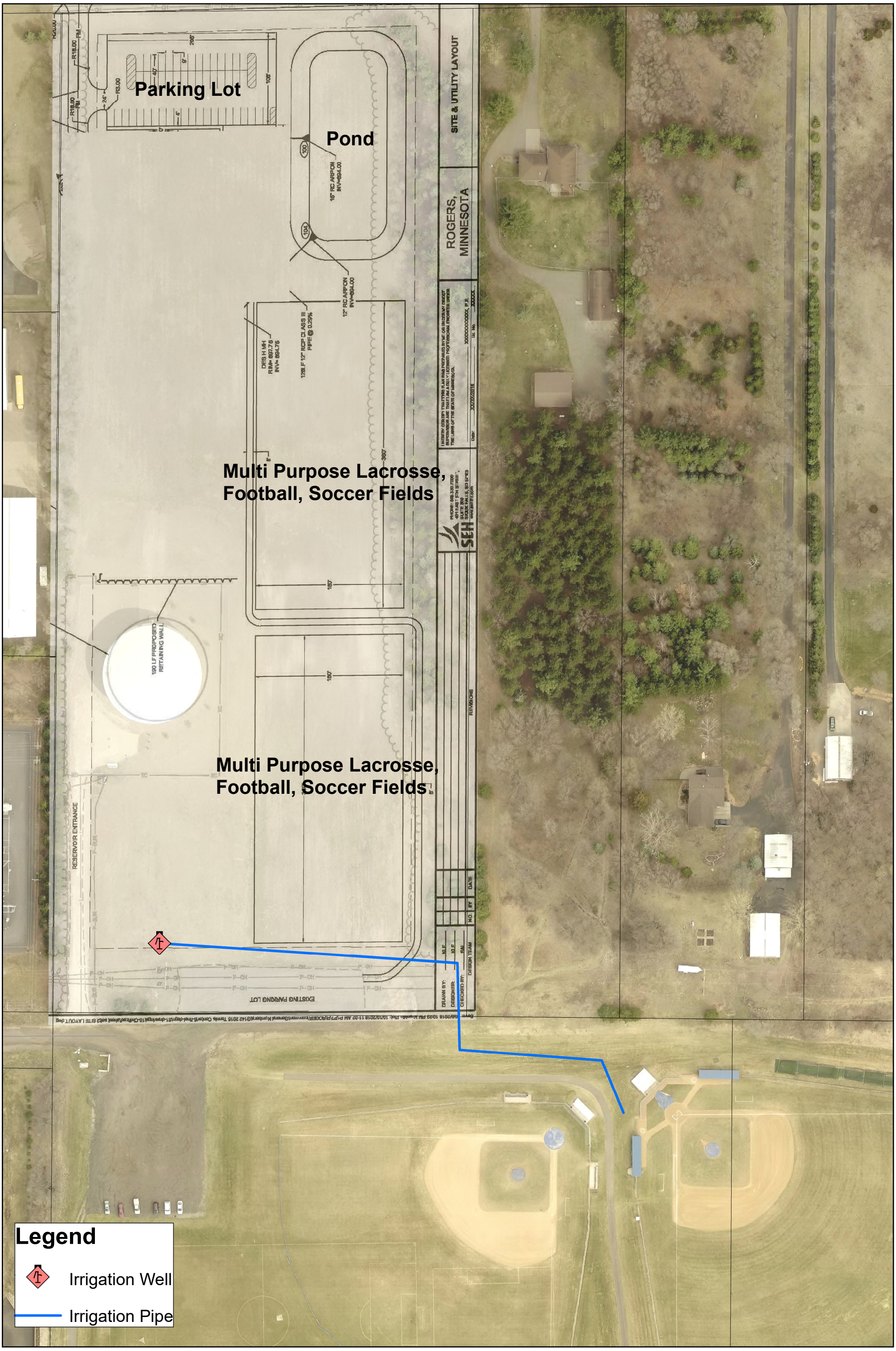
EXECUTION

IN WITNESS THEREOF, the applicant has caused this application to be executed on the

_____ day of _____, 2018.

_____

By: (Name, Title)



THE CITY OF ROGERS MINNESOTA

Rogers, Minnesota
Public Works Department
Geographic Information Systems

0 100 200 400 Feet

N

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 5.17

Subject: Approval of Resolution 2018-88, Amending a Conditional Use Permit Dated July 10, 2012 to Allow for Outdoor Storage of Trucks, Trailers, and Materials, Located at 22851 Industrial Boulevard

Prepared By: Amy Patnode, Associate Planner

Recommended City Council Action
To approve Planning Commission recommendation to approve Resolution 2018-88, Amending a Conditional Use Permit Approved July 10, 2012 to Allow for Outdoor Storage of Trucks, Trailers, and Materials, Located at 22851 Industrial Boulevard.

Overview / Background
Mark Suppes with Shred-n-Go, Inc. (Applicant), has submitted a Land Use Application requesting approval of a Conditional Use Permit (CUP) allowing outdoor storage of trucks and trailers. The property is located at 22851 Industrial Boulevard (Subject Property). Shred-n-Go is not the current tenant or owner of the property, but will occupy and own the space in early 2019.

The application for the CUP was received on September 14, 2018. The applicant received a completeness letter on October 4, 2018 as the application had details necessary to complete the formal review. The 60-day statutory review formally ends on November 13, 2018.

Primary Issues to Consider
1. Land Use and Zoning
2. Site Plan
3. Outdoor Storage
4. Existing CUP

Analysis of Primary Issues
1. Land Use and Zoning

The Subject Property has a 14,492 square foot office-warehouse building on 3.13 acres, located off Industrial Boulevard. The property is guided Industrial (2030 Comprehensive Plan); the corresponding zoning is Limited Industrial (L-I). Outdoor storage of trucks, trailers and materials is allowed by Conditional Use Permit in the L-I zoning district [§125-199].

The type of use is allowed by both the Comprehensive Plan and Zoning.

2. Site Plan

The Subject Property was granted approval of a Conditional Use Permit (CUP) in 2012 for outdoor storage of roofing equipment and materials. After approval, the parking lot was paved and a chain link

fence was installed to enclose approximately 1.3 acres of land. Previously, the fenced in area is used for storage of materials from the former tenant, Roof Depot.

The existing CUP does not limit the amount of materials stored outdoors, while current code restricts outdoor storage to 20% building area. The
Applicant is not intending to store material outdoors, only trucks and trailers. However, staff is proposing to amend the current CUP to keep and
update the language to allow for 20% of building area for materials stored outdoors, and to add language allowing trucks and trailers on site.

Noise and smell must be considered when recommending approval or denial for any CUP. Shred-n-Go is a paper recycling company that contracts with businesses to destroy paper documents. Paper shredding machines/trucks will shred paper on the customers property, meaning paper handled by Shred-n-Go will be shredded in the company trucks, off site from the Subject Property. Therefore, surrounding properties will not be negatively impacted by the sound created by the outdoor storage of trucks/trailers excluding any noise created by typical business operations.

3. Outdoor Storage

The Applicant is applying for outdoor storage of vehicles/trailers. The following are standards for outdoor storage of vehicles/trailers [§125-199(5)(h)]:

1. Permitted by conditional use permit if storage is accessory and related to principal use. *The use is related to the principle use.*
2. Parking/storage is limited to the rear yard. *Vehicles and any materials will be stored in the rear yard inside the enclosed area.*
3. Parking/storage of vehicles/trailers does not take up parking spaces as required for conformity to this ordinance. *The parking ratio conforms to city standards.*
4. All vehicles/trailers must be stored on a paved area which includes storm drainage management facilities as required by the city. *Applicant must maintain the existing drainage management facilities.*

Staff recommendation is to amend the existing CUP to include language restricting the amount of materials that can be stored outdoors. The following are standards for outdoor storage of materials [§125-199(5)(g)]:

1. Permitted by conditional use permit if storage is accessory and related to principal use. *The storage of materials must be related to the principle use.*
2. Storage area is limited to the rear yard. *The enclosed area is in the rear yard.*
3. Storage area is limited to up to 20 percent of the building area. *Staff will amend the CUP to include this ordinance.*
4. Storage areas shall be fenced. *There is existing fencing.*
5. Storage and screening shall not exceed eight feet in height. *Existing fence will stay as is, any alterations shall not exceed eight feet in height.*
6. The use does not take up parking space as required for conformity to this ordinance. *Parking will not be compromised.*
7. All lighting shall be hooded and so directed that the light source shall not be visible from the public right-of-way or from neighboring properties. *No additional light sources will be added.*
8. All exterior storage areas must be paved and include storm drainage management facilities as required by the city. *The pavement must be maintained as to have effective drainage.*

Criteria for granting CUPs: In granting a CUP, the City Council shall consider the advice and recommendations of the Planning Commission and the effect of the proposed use upon the health, safety, morals and general welfare of occupants of surrounding lands. Among other things, the City Council shall make the following findings where applicable: [125-34. - Conditional use permits.]

(1) The use will not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.

(2) The use will be sufficiently compatible or separated by distance or screening from adjacent agricultural or residentially zoned or used land so that existing homes will not be depreciated in value and there will be no deterrence to development of vacant land. *The residential land to the south is screened by trees and separated by the railroad.*

(3) The structure and site shall have an appearance that will not have an adverse effect upon adjacent residential properties. *Existing building does not create adverse effects.*

(4) The use, in the opinion of the city council, is reasonably related to the overall needs of the city and to the existing land use. *The use is reasonable, and consistent with land use designations.*

(5) The use is consistent with the purposes of the zoning code and the purposes of the zoning district in which the applicant intends to locate the proposed use. *Consistent with zoning district regulations.*

(6) The use is not in conflict with the policies plan of the city. *The amendment is not in conflict with policies of the City.*

(7) The use will not cause traffic hazard or congestion. *Proposed use will not cause traffic hazard.*

(8) Existing businesses nearby will not be adversely affected because of curtailment of customer trade brought about by intrusion of noise, glare or general unsightliness. *Noise, glare or unsightliness will not negatively affect surrounding businesses.*

4. Existing CUP

The conditional use permit from 2012 had four (4) conditions of approval. All of which have been met. Below are the listed conditions.

1. The outdoor storage area should be paved with concrete or bituminous paving, consistent with similar storage areas recently developed in the City. *Complete.*
2. The fence should be designed to show barbed wire arms extending inward over the property, rather than outward, consistent with city ordinance. *Complete.*
3. Any future grading or other site alterations shall be subject to further review the City Engineer and other City staff as required by the zoning ordinance and other related regulations. *Code requires site plan review for site alterations.*
4. The hard surface plan is completed within 24 months with direction from the City Engineer. *Complete.*

All conditions have been met with the original CUP. The amended document will re-state and alter the intent of outdoor storage, list current code which the property must conform to, grant the Fire Department access to the gated area and maintain site conditions.

<u>Staff Recommendation</u>

City staff recommends approval of Resolution 2018-88, amending a Conditional Use Permit approved July 10, 2012 to allow for outdoor storage of trucks, trailers and materials, located at 22851 Industrial Boulevard.

ATTACHMENTS:

Description

Resolution 2018-88

RESOLUTION NO. 2018 - 88

A RESOLUTION AMMENDING A CONDITIONAL USE PERMIT APPROVED JULY 10, 2012, TO ALLOW FOR OUTDOOR STORAGE OF TRUCKS, TRAILERS AND MATERIALS, LOCATED AT 22851 INDUSTRIAL BOULEVARD

WHEREAS, Mark Suppes ("Applicant") submitted an application to the City of Rogers ("City"), requesting approval of a Conditional Use Permit ("CUP") for outside storage of trucks and trailers, located at 22851 Industrial Boulevard ("Subject Property"); and

WHEREAS, a previous CUP was granted in 2012 allowing outdoor storage of roofing materials, with no restrictions on the amount of materials stored outdoors; and,

WHEREAS, current City Code [§125-199(5)(g)] restricts the amount of outdoor storage of materials to 20% of the building area, and;

WHEREAS, amending the CUP will restrict the amount of materials allowed on the Subject Property to current city code as described herein and add language permitting the storage of trucks and trailers outdoors; and,

WHEREAS, the Subject Property is located in the Limited Industry (L-I) zoning district, which allows outdoor storage with approval of a Conditional Use Permit; and,

WHEREAS, on October 16, 2018 the Planning Commission ("Commission") conducted a public hearing to receive public comment on the proposed CUP; and,

WHEREAS, no public comment was received related to the application; and,

WHEREAS, the Commission considered the application and made the following determinations:

1. The use will not create an excessive burden on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
2. The use will be sufficiently compatible or separated by distance or screening from adjacent agricultural or residentially zoned or used land so that existing homes will not be depreciated in value and there will be no deterrence to development of vacant land.
3. The structure and site shall have an appearance that will not have an adverse effect upon adjacent residential properties.
4. The use is reasonably related to the overall needs of the city and to the existing land use.
5. The use is consistent with the purposes of the zoning code and the purposes of the zoning district in which the applicant intends to locate the proposed use.
6. The use is not in conflict with the policies plan of the city.
7. The use will not cause traffic hazard or congestion.
8. Existing businesses nearby will not be adversely affected because of curtailment of customer trade brought about by intrusion of noise, glare or general unsightliness.

WHEREAS, based on those determinations, the Commission recommended to the City Council approval of the CUP amendment, permitting Subject Property to limit outdoor storage of materials to 20% of the building area, and allow outdoor storage of trucks and trailers.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, that the Conditional Use Permit from July 10, 2012 is hereby amended to allow the property located at 22851 Industrial Boulevard, to store trucks, trailers and materials outdoors, subject to the following conditions:

1. Outdoor storage of materials shall not exceed 20% of building area.
2. Outdoor storage of any sort, shall be located in the rear yard.
3. The Fire Department shall be granted access to the gated area.
4. Subject Property must maintain effective storm drainage management facilities.
5. Storage of hazardous materials outdoors are prohibited unless otherwise approved by the City.

BE IT FURTHER RESOLVED, the conditions approved with the 2012 CUP shall remain in full force and effect.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23th day of October, 2018.

_____
Rick Ihli, Mayor

ATTEST:

_____
Stacy Scharber, City Clerk

EXHIBIT A

Legal Description:

Lots 2 and 3, Block 1 Franklin Addition

PID # 15-120-23-42-0016 and 15-120-23-42-0015.

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 6.1

Subject: Public Hearing to Adopt the Proposed Assessment for Delinquent Sewer, Water, Recycling and/or Storm Water Services Charges

Prepared By: Stacy Scharber, Assistant City Administrator/City Clerk

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Recommended City Council Action
AFTER conducting the public hearing, staff recommends the following:
Motion to approve Resolution No. 2018 - 86, A Resolution Adopting and Confirming Assessment for Delinquent Sewer and Water Services Charges (2018).

Overview / Background
The notices of individual assessments were mailed to the property owners and advertisement of the public hearing was published in the October 4th edition of the Crow River News.

The months of unpaid utilities being assessed are September, 2017 to August, 2018. The Finance Department mailed 295 notices with outstanding balances totaling $62,784. As of October 12, 2018 there were 174 delinquent accounts with $44,377 in outstanding charges.

Staff Recommendation
Motion to approve Resolution No. 2018 - 86, A Resolution Adopting and Confirming Assessment for Delinquent Sewer and Water Services Charges (2018).

Financial Impact: None **Budgeted?** **Source Fund:** Utilities

Notes:

ATTACHMENTS:
Description

Resolution No. 2081-86

RESOLUTION NO. 2018 - 86

A RESOLUTION ADOPTING AND CONFIRMING ASSESSMENT FOR DELINQUENT SEWER AND WATER SERVICE CHARGES (2018)

BE IT RESOLVED by the City Council of the City of Rogers, Minnesota, as follows:

1. That the property amount to be specially assessed at this time for delinquent sewer and water service charges against the appropriate lot, piece or parcel of land served has been duly calculated, and notice has been duly published and mailed as required by law, that this council would meet to pass upon all objections, if any, and said proposed assessment has at all times since its filing been open for public inspection, and opportunity has been given to all interested persons to present their objections, if any, to such proposed assessment.

2. This Council, having heard and considered all objections so presented, and being fully advised in the premises, finds that the actual charges made for sewer services directly rendered to each of the lots, parcels and pieces of land enumerated in the proposed assessments set opposite each lot, piece and parcel of land respectively, and such amount so set out is hereby levied against each of the respective lots, pieces and parcels of land therein described.

3. The proposed assessments are hereby adopted and confirmed as the proper special assessment for each of the said lots, pieces and parcels of land, respectively, and the assessment against each parcel, together with interest at 8% per annum accruing on the full amount thereof from time to time unpaid, shall be a lien concurrent with general taxes upon said parcel and all thereof. The total amount of each such assessment shall be payable in one annual principal installment, together with interest on the entire assessment from the date hereof to December 31, 2019, to be payable with general taxes payable in 2019.

4. The owner of any property so assessed may, at any time prior to certification of the assessment to the County Auditor, pay the whole of the assessment on such property, with interest accrued to the date of payment, to the City Treasurer, except that no interest shall be charged if the entire assessment is paid within thirty (30) days from the adoption of this resolution.

5. The City Administrator/Clerk shall, as soon as may be, prepare and transmit to the County Auditor a certificate duplicate of the Assessment Roll, with each installment and interest thereon set forth separately, to be extended upon the proper tax list of the County, and the County Auditor shall thereafter collect said assessment in the manner provided by law.

Moved by Councilmember , seconded by Councilmember

The following voted on favor of said Resolution:

The following voted against the same:

Whereupon said Resolution was declared duly passed and adopted, and was signed by the Mayor and attested by the Clerk dated this 23rd day of October, 2018.

_____
Mayor

ATTEST:

_____
City Clerk

STATE OF MINNESOTA)
) ss
COUNTY OF HENNEPIN)

I, the undersigned, being the duly qualified and acting City Clerk of the City of Rogers, Minnesota, do hereby certify that:

1. As such officer, I have the legal custody of the original record from which the attached and foregoing extract was transcribed;

2. I have carefully compared said extract with said original record;

3. I find said extract to be a true, correct and complete transcript from the original minutes of a meeting of the City Council of said City held on the date indicated in said extract, including any resolutions adopted at such meeting, insofar as they relate to Delinquent Sewer and Water Service Charges (2018).

4. Said meeting was duly held, pursuant to call and notice thereof as required by law.

WITNESS my hand officially as such City Clerk, and the seal of said City this 23rd day of October, 2018.

_____
City Clerk

(Seal)

The attached list indicates the properties to be assessed, listed by Property Identification Numbers:

2212023120004	2612023240035	1512023130119	1512023130119
1312023320044	1312023120023	2212023310147	1512023310034
1512023310034	2612023120075	2612023120045	1312023230011
1312023220043	1312023220055	1512023140033	1412023230009
2312023230085	2612023120072	2612023130012	2612023240005
1312023230038	1312023230047	1312023240005	1312023220071
1312023210024	2612023210014	2612023210036	2612023240041
2612023240052	2612023240054	2612023210042	2612023210063
2612023210078	2612023210079	2612023210085	2612023210088
1412023230043	1412023230050	2712023110014	2712023110012
2612023220007	2612023220024	2612023220037	2712023110040
1512023130034	1512023130033	1512023130020	1512023240028
1512023130134	1512023130131	1512023130102	1512023130086
1512023130079	1512023130076	1512023130073	1512023130064
1512023130061	1412023220025	1512023110019	1312023210041
1312023230053	1312023230063	2212023420010	2212023430005
2212023440026	1412023220038	1412023220042	1512023110028
1512023110034	1512023120024	1512023120026	1512023120061
1512023210017	1512023210025	1312023210062	1312023240040
1512023110055	2212023410024	1312023320038	1412023220056
1312023120154	2212023430012	2212023320095	2212023310061
2712023110064	2512023230002	2612023110025	2312023130004
2512023440006	1512023140005	2212023130008	2212023130006
2312023130012	2312023420049	2312023430003	2312023430028
2312023430015	2312023340011	2312023340015	2312023340003
2312023310039	2312023310009	2312023310099	2312023310103
2212023110012	2212023140035	2212023140034	2212023140019
2212023110021	2212023110041	1512023440031	1512023420027
1512023430023	1512023430078	1512023330005	1512023320007
1512023320074	1512023320075	1512023320077	1512023320080
1512023320084	1512023320067	1512023320071	1512023330028
1512023330039	2212023220008	2212023230012	2212023230003
2212023230032	1612023410019	1612023420037	1612023420039
3512023210001	0112023340010	3612023430002	2612023410006
1212023420007	0912023440014	1012023330001	1012023340013
1012023340014	1012023340016	1012023340017	1012023430006
1112023220004	1212023210009	1212023410003	1212023430003
1212023440005	1612023330008	1712023430001	2012023220004
2012023240002	2112023230001	2612023230014	2612023230016
2612023320014	2712023230008	2712023230012	2812023340005
2812023420009	2912023120005	3112023440004	3212023420004
3212023430008	3412023240015	3412023310004	3412023320006
3412023430010	3512023340005	3612023120005	0112023410006
0112023440007	2812023330007		

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 6.2

Subject: Public Hearing to Consider Request to Vacate a Portion of David Koch Avenue, Formerly 129th Avenue North

Prepared By: Jason Ziemer, City Planner / Community Development Coordinator

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Recommended City Council Action

Upon completion of the public hearing, motion to approve Resolution No. 2018-89, vacating a portion of David Koch Avenue, formerly 129th Avenue North.

Overview / Background

Graco, Inc. (Applicant) has submitted a Zoning & Land Use application, requesting the City Council approve the vacation of a portion of 129th Avenue North, known today as David Koch Avenue. The request is tied to the other land use applications for Preliminary Plat, Final Plat, Site Plan, Conditional Use Permit and Variances reviewed and recommended for approval by the Planning Commission on October 16, 2018. The Applicant is proposing an expansion of its existing manufacturing facility in Rogers, located at 20500 David Koch Avenue, from 316,194 square feet (existing) to 795,960 square feet (finished). The development will also replat the two (2) existing lots (PIDs: 24-120-23-23-0007 and 24-120-23-24-0003) into one (1) 29.95-acre (1,323,173 square feet) parcel. Additional information on the project is contained in the staff report under a separate agenda item.

The request to vacate the identified area (see map) would straighten out the right of way along the southside of the property and David Koch Avenue (formerly 129th Avenue North). City staff are supportive of the request and has determined there is no public purpose for the area to be vacated. A City Council is required to conduct a public hearing to receive comment on the proposed vacation. The notice to vacate was publicly noticed as required.

Primary Issues to Consider

1. Vacation of Former 129th Avenue North Right of Way

Analysis of Primary Issues

1. Vacation of Former 129th Avenue North Right of Way

As described above, as part of the proposed Graco expansion project, the Applicant has made request to vacate a portion of the existing right of way (ROW) for David Koch Avenue (Street), formerly 129th Avenue North. The purpose of the vacation is to straighten out the southern property boundary of the Applicant and the northern ROW boundary for the Street. Public Works staff recommended the vacation to clean up the ROW area, indicating there was no public purpose for the area to be vacated. There are no utilities within the defined ROW in the area to be vacated that require relocation.

Staff Recommendation

Upon completion of the public hearing, City staff recommends approval of the following: Resolution No. 2018-89, vacating a portion of David Koch Avenue, formerly 129th Avenue North.

ATTACHMENTS:

Description

Resolution No. 2018-89 Vacating ROW

RESOLUTION NO. 2018 - 89

A RESOLUTION VACATING A PORTION OF RIGHT OF WAY THEREOF LOTS 1 AND 2, INCLUSIVE, BLOCK 1, ROGERS INDUSTRIAL PARK 2ND ADDITION

WHEREAS, Graco, Inc. ("Applicant") has submitted application to the City of Rogers ("City"), requesting the vacation of a portion of the existing Right of Way ("ROW") for David Koch Avenue, formerly 129th Avenue North; and

WHEREAS, the ROW proposed to be vacated is further described in the attached Exhibit A and Exhibit B; and

WHEREAS, the request is inclusive of a proposed development, whereby the Applicant has sought approval of Preliminary and Final Plats, Site Plan, Conditional Use Permit and Variances for the expansion of its existing manufacturing facility located at 20500 and 20550 David Koch Avenue (PIDs: 24-120-23-23-0007 and 24-120-23-24-0003); and

WHEREAS, City staff have reviewed the request and find no existing or future public purpose for the ROW proposed to be vacated, and recommend approval of the proposed vacation; and

WHEREAS, the City Council held a public hearing on October 23, 2018 to consider the vacation request; all interested parties were given notice of the hearing; and

WHEREAS, there were no written or verbal objections to the requested vacation.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, that the portion thereof the existing Right of Way for David Koch Avenue, formerly 129th Avenue North, is hereby vacated as legally described in Exhibit A.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23rd day of October, 2018.

Rick Ihli, Mayor

ATTEST:

Stacy Scharber, City Clerk

EXHIBIT A

LEGAL DESCRIPTION

VACATING EXISTING RIGHT OF WAY

That part of 129th Avenue North dedicated to the public in the plats of ROGERS INDUSTRIAL PARK and ROGERS INDUSTRIAL PARK SECOND, according to the recorded plats thereof, Hennepin County, Minnesota, which lies westerly of the southerly extension of the east line of Lot 2, Block 1, said ROGERS INDUSTRIAL PARK SECOND and northerly of the following described line:

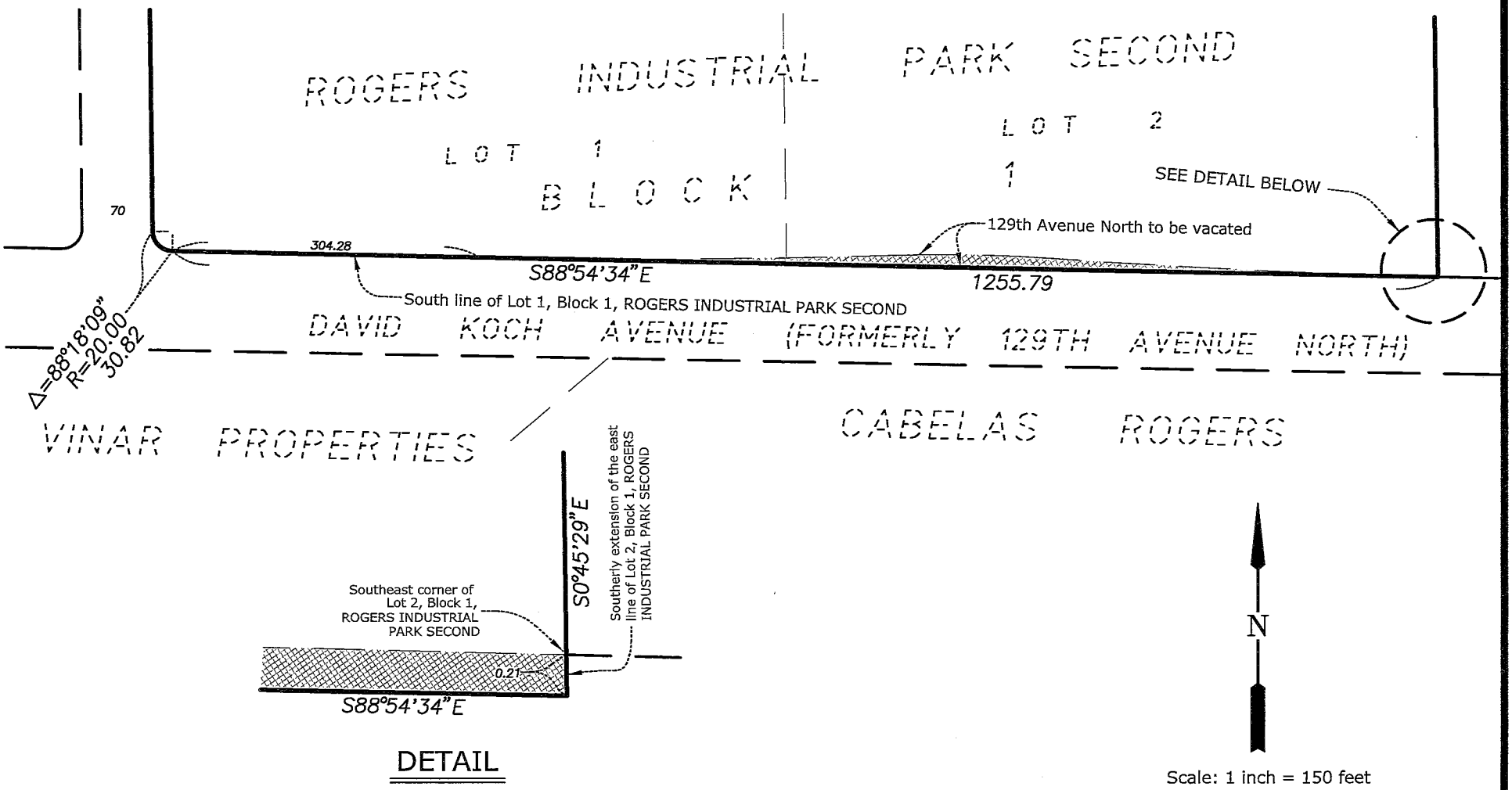
Commencing at a point on the south line of Lot 1, Block 1, said ROGERS INDUSTRIAL PARK SECOND, said point being the terminus of the 20.00 foot radius curve at the southwest corner of said Lot 1; thence South 88 degrees 54 minutes 34 seconds East, along said south line, a distance of 304.28 feet to a point of curvature in said south line and the beginning of the line to be described; thence continuing South 88 degrees 54 minutes 34 seconds East to the southerly extension of the east line of said Lot 2 and there said line terminates.

PIDs #24-120-23-23-0007 and #24-120-23-24-0003

EXHIBIT B

MAP OF RIGHT OF WAY
AREA TO BE VACATED

Easement Vacation Sketch for:
GRACO MINNESOTA, INC.



Rehder and Associates, Inc.
CIVIL ENGINEERS AND LAND SURVEYORS
3440 Federal Drive • Suite 110 • Eagan, Minnesota • Phone (651) 452-5051

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 7.1

Subject: Items Relating to a Request from Graco, Inc.:

Prepared By: Jason Ziemer, City Planner / Community Development Coordinator

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Recommended City Council Action

Motion to approve the following:

- Resolution No. 2018-90, approving a Preliminary and Final Plat for Graco Addition.
- Resolution No. 2018-91, approving a Site Plan for Graco, Inc., 20500 David Koch Drive.
- Resolution No. 2018-92, approving a Conditional Use Permit for 20500 David Koch Drive for outdoor storage of a 2,000 gallon fuel tank.
- Resolution No. 2018-93, approving a Variance to City Code to allow for a reduction to parking requirements.
- Resolution No. 2018-94, approving a Sign Standard Adjustment for wall sign locations.

Overview / Background

Graco, Inc. (Applicant) has submitted a Zoning & Land Use application, requesting City approval of a Preliminary Plat, Final Plat, Site Plan, Conditional Use Permit and Variance for a proposed expansion of its existing manufacturing facility in Rogers, located at 20500 David Koch Avenue. The existing manufacturing space occupies a total area of 316,194 square feet on a portion of the two (2) lots (PIDs: 24-120-23-23-0007 and 24-120-23-24-0003), currently owned by the Applicant. The development proposal would re-plat both lots, creating one (1), 29.95-acre (1,323,173 square feet) parcel, and add an additional 479,766 square feet for manufacturing space, offices, research labs and a training center. The expansion would be completed in two (2) phases to allow the Company to continue operating during construction.

The Conditional Use Permit (CUP) is for the outdoor storage for a fuel storage tank. The tank is an existing use but placed by building permit but did not have the required CUP approval. This would bring the outdoor storage use into compliance with zoning standards for the property. The Variance request is for reductions to the total number of parking spaces required per City Code, and a reduction in the required number of parking islands.

On October 16, 2018, the Planning Commission reviewed applications for Preliminary Plat, Site Plan, Conditional Use Permit (CUP) and Variances. The public hearing to consider the Preliminary Plat, CUP and Variances; no verbal or written public comment was received. The Commission recommended approval of all applications with the following conditions for the Site Plan; there were no conditions established for the CUP or Variances.

1. The Applicant revises the north and south wall building elevations to address architectural design standards to increase the number of design interruptions as required by City Code.
2. The Applicant provides full sign detail plans for all signage to be located on the property and building as shown on the plans.

The 60-day statutory review period expires on December 10, 2018.

Primary Issues to Consider

1. Land Use & Zoning
2. Preliminary & Final Plats
3. Site Plan
4. Sign Standard Adjustment
5. Conditional Use Permit
6. Variance Standards
7. Development Agreement

Analysis of Primary Issues

1. Land Use & Zoning

The two properties that comprise the 29.95-acre site (Subject Property) are currently guided as **Industrial**, per the Rogers 2030 Comprehensive Plan, which defines it as follows: *Industrial uses include manufacturing, assembly, processing, warehousing and distribution uses. Industrial districts should be located to take advantage of good access to the regional roadway system with limited traffic circulation through residential and pedestrian-oriented areas.*

The corresponding zoning for Subject Property is **Limited Industry (L-I)**. City Code Section §125-199 establishes *Permitted, Accessory and Conditional Uses* for properties zoned S-I. Permitted uses in this zoning district are: *adult oriented businesses, principal and accessory; auto and truck repair shops; construction and special trade contractor; offices; light manufacturing, processing and assembling and storage; service establishments; transportation or freight terminal; wholesale business; warehouse; and body art.* Minimum lot area regulations, per City Code Section §125-199(e)(1), are 20,000 square feet for properties with City sewer and water. The Subject Property has a total area of 1,323,173 square feet.

The property not does fall within a **Highway Corridor Overlay District**.

Land Use conditions are satisfied.

2. Preliminary & Final Plats

Preliminary Plat

The Applicant is proposing to re-plat the two properties that comprise the 29.95-acre development site as Graco Addition; legal description Lot 1, Block 1, Graco Addition. The properties being combined to create the new lot are 20500 David Koch Drive (PID: 24-120-23-23-0007) and 20550 David Koch Drive (PID: 24-120-23-24-0003). The Preliminary Plat satisfies City requirements for platting. The Applicant is providing drainage and utility easements (D/UE) required by the City. In addition to the D/UEs, the Applicant has applied to vacate a small sliver of Right of Way along David Koch Drive; this would straighten out the right of way. The vacation public hearing will take place at the October 23, 2018 City Council meeting. City staff are supportive of the vacation and realignment of the right of way.

Preliminary Plat conditions are satisfied.

Final Plat

With a Final Plat we evaluate to ensure it conforms to the approved Preliminary Plat. We also examine that the Final Plat satisfies Hennepin County requirements for recording, as well as require the following documents at a minimum, if applicable: protective covenants and title opinion. The Applicant owns the property and is not proposing covenants. We are awaiting the title opinion/commitment.

Final Plat conditions are satisfied, pending receipt of the title opinion/commitment.

3. Site Plan

Site

Currently, the Subject Property is comprised of two (2) individual parcels – 20500 David Koch Avenue (PID: 24-120-23-23-0007), a 14.79 acre parcel (Lot 1) and 20550 David Koch Drive (PID: 24-120-23-24-0003), a 15.16-acre parcel (Lot 2). The existing facility, constructed in 1996, sits mostly on Lot 1, with a portion of the building (loading docks and truck access) on the western part of Lot 1. The entire property, as described above, when combined via re-platting will be 29.95 acres.

The Applicant is proposing to expand the existing manufacturing facility to add new manufacturing/warehousing space, plus a training facility, new offices and meeting rooms and a research/lab area. The existing facility is 316,194 total square feet. The addition will add 479,766 square feet for a total floor area of 795,960 square feet. The building, when complete, will be 880 feet by 800 feet square. Construction shall take place in two (2) phases to enable the Company to continue its operations as is, or reduce interruptions and down time, during construction. The general orientation of the building on the property will be the same – main entrance facing George Weber Drive; load docks and truck traffic on the east side. Of the new addition, 114,699 square feet is planned for office expansion with the remaining 365,169 square feet for manufacturing. Of the planned office area, the northwest corner of the building is proposed as a new training and conference center with patio area for Graco employees and special events; a research/lab area is proposed for the southwest corner of the building.

Parking shall be expanded along the south side of the building to accommodate parking needs for projected employee growth. Parking, including parking islands, currently occupies a gross area of 171,582 square feet; the expanded parking area upon completion will occupy 255,044 square feet. The number of loading docks will increase from 28 to 37. There is also no additional trailer parking spaces as currently exists; per City Code any outdoor storage of truck/trailer parking requires a Conditional use Permit. The City does not count trucks/trailers connected to a loading dock.

There are currently four (4), full-access ingress/egress points to the parking areas – one (1) from the north off Commerce Boulevard, two (2) from George Weber Drive and one (1) from the south off David Koch Avenue. The project proposes to retain four (4) access points, three (3) of which will be full access. The main entrance will be in the middle of the property off George Weber Drive, with one-way entry and exit driveways. Also along George Weber Drive is a proposed right-in/right-out near the intersection with George Weber Drive and David Koch Avenue. This was original proposed as a full access driveway, but was revised after City staff expressed concern about potential conflicts with the intersection. Along the south side of the building, the project will retain the existing driveway and add an additional driveway.

Lot Coverage

The total impervious area shown on the Site Plan totals 1,108,602 square feet (25.45 acres), or 84.5%

of the total site (1,323,173 square feet). There are no lot coverage standards for developments in Commercial districts. In comparison, in residential districts the maximum impervious surface area is 75% [City Code §125-329(4)].

Lot coverage is satisfied.

Parking & Site Circulation

As described above, the parking lot area, including parking islands, will occupy a gross area of 255,044 square feet. According to City Code [§125-313(c)(7)], the proposed uses require the following number of spaces, per square foot. As described by the Applicant, those uses and parking requirements area:

- Offices: One space for each 200 sf of gross floor space.
- Manufacturing: One space per 1,500 square feet of floor area for buildings larger than 100,000 square feet.

When complete, the project will feature 172,750 square feet of office, lab and mezzanine areas, and 623,210 square feet of manufacturing and warehouse space. The resulting calculation would require a total of 1,280 parking spaces. As part of the parking analysis, the Applicant conducted an assessment of actual parking needs based on projected total employees and company operations (shifts) at maximum peak hours for office and manufacturing. Based on their analysis the Applicant is showing a need of 702 total parking spaces as being needed to meet company and employee needs. Thus, the Applicant has requested the City consider a Variance from parking standards, approving a reduction to the total parking spaces required by 578 spaces. The proposed reduction in parking to vary from City Code shall be discussed later in this memorandum.

As described above, site access shall be provided by three (3) full ingress/egress access points and one (1) right-in/right-out access. Two (2) of the access points are off George Weber Drive; two (2) are off David Koch Avenue.

According to City Code [§125-313(c)(6)]: *For every 12 parking spaces in a row a landscaped island, shall be contain at least one (1) tree per island, and be a minimum size of nine (9) feet by 18 feet.* Based on that standard, simple math would require the Applicant to provide a total of 59 parking islands. This would result in the loss of parking spaces from what is already proposed as significantly less than required by City parking standards. The Site and Landscape Plans show a total of 20 landscaped parking islands of varying sizes. The Applicant is proposing to reduce the number of parking islands and make those internal to the parking area larger. The existing parking islands are standard size, per City Code, and are all currently concrete. The proposed reduction parking islands to vary from City Code shall be discussed later in this memorandum.

Site circulation requirements are satisfied. Parking requirements do not satisfy City Code requirements, pending consideration of the Variance request to allow for a reduction to both the number of parking spaces and parking islands.

Materials

Developments in industrial districts must satisfy architectural design standards. Those standards [§125-347], state: *In all industrial zoning districts (L-I, S-I) 75 percent of the exterior building finish shall consist of the following materials: face brick; natural stone; glass; specially designed precast concrete units if surfaces are integrated with applied decorative material or texture and smooth concrete block if*

scored at least twice; rock face; cast stone; cultured stoned; EIFS; architectural precast panels with with at least two architectural reveals per panel. The building must also use up to three of the following to break up long walls: *window bays, special treatments at entrances, variations in rooflines or parapet, and building setbacks or articulation of the façade.* For buildings 10,000 to 20,000 square feet in total gross area, no wall can exceed 100 linear feet without some type of variation to the wall.

All four (4) walls exceed that linear feet standard. Based on wall lengths and City Code requirement of some type of change every 100 feet, the building would require a total of eight (8) design interruptions. At the main entrance and entrance to the training center, the Applicant is proposing significant improvements, featuring pre-cast textured panels and glass and colored metal panel systems. The upgraded appearance is also extended to the southwest corner of the building where the research/lab area is located. On the north wall elevation, the Applicant is proposing pre-cast panels interrupted periodically by a textured variation in the pre-cast panels. Since the Planning Commission meeting the Applicant has revised the north wall and south wall elevations to satisfy the required architectural interruptions every 100 feet. The interruptions include the front façade (west wall elevation) wraps around both the north wall and south wall elevations. The south wall elevation, facing South Diamond Lake Road and Interstate 94, shows a mix of glass curtain walls and other colored/textured façade treatments. The north wall elevation also uses a mix of colored/textured façade treatments.

As described by the project narrative, the Applicant is proposing a varying mix of exterior finishes and colors, including: varying colored metal panes; glass; pre-cast panels to match the existing façade.

Material and architectural design standard requirements are satisfied.

Surface Water

The City and Applicant are collaborating on the storm water requirements, using existing off-site ponding areas to satisfy water retention and quality improvements; some on-site rate control is being provided in the southeast corner of the Subject Property. The storm water plan has received approval from the Elm Creek Watershed Management Commission.

Surfaced Water requirements are satisfied.

Landscape Plan

For landscaping, City Code merely requires an applicant to provide a plan that shows the location, size and type of tree and plant species. The City also does not have a detailed tree preservation ordinance related to tree removal and replacement requirements. At the request of the City, the Applicant has provided a tree preservation and removal schedule in addition to the Landscape Plan. That Plan shows the preservation of 16 existing trees and removal of 78 trees; a total of 107 new deciduous and ornamental trees are proposed for the site. Additionally, the Landscape Plan proposes a varying mix of more than 5,178 shrubs, perennials and grasses. The City requires all trees planted to have a minimum caliper of 2.5 inches, of which the Applicant is showing.

As presented above, City Code [§125-313(c)(6)] requires a landscaped island for every 12 parking spaces. Irrespective of the number of islands required the Applicant is showing all parking islands as landscaped. According to the Plan, the Applicant is proposing to more than double the size of the center islands to accommodate 1,200 cubic feet of high-quality soil volume to support quality tree growth with enough room to reach full maturity. The emphasis of the Landscape Plan is at the main entrance off

George Weber Drive and the two building entrances. The patio adjacent to the training center will be designed to provide an outdoor space for small events and employee dining opportunities; landscaping here will be used to separate the patio area from the parking lot.

Landscape Plan requirements are satisfied.

Signage

The Subject Property is in the *ILS Industry Large Site Sign Overlay District*. Applicable sign standards for this district [§113-9] allow the following: wall signs with a maximum area of 2 square feet per lineal feet, up to a maximum of 120 square feet, and only one (1) wall sign per street frontage; and freestanding signs with a maximum area of 36 square feet and maximum height of eight (8) feet. Lighting for wall and freestanding signs must be externally lit, with the source downward facing only. Auxiliary signs, such as directional signage, are also permitted on a property. The maximum areas are: auxiliary – six (6) square feet; wall – six (6) square feet; freestanding – six (6) square feet and height of four (4) feet. Electronic/digital display signs are not permitted.

According to the project narrative the Applicant is proposing to use the existing monument sign, which may be re-designed at some point in the future. Revised building elevations show two (2) wall signs on the west elevation and one (1) wall sign facing the south elevation. Based on the revised plans, the Applicant is requesting to move the sign permitted on the north wall elevation to the west wall elevation over the training center entrance. This requires a sign standard adjustment.

Sign requirements are satisfied pending approval of a Sign Standards Adjustment.

Fire

Fire Department issues were reviewed and addressed as part of a pre-application review.

Fire Department requirements are satisfied.

4. Sign Standards Adjustment

As noted above, the Applicant has submitted a revised sign plan showing a two (2) wall signs on the west wall elevation. Per City Code, buildings are allowed one (1) wall sign for each wall affronting a City street. According to City Code [§113-12] an adjustment to sign standards are permitted for *height, number, type, lighting, area or location of signs* provided the adjustment:

1. results in no increase in the overall amount of signage allowed on the property
2. results in no increase to the overall height or sign area of any individual freestanding sign
3. is found to be necessary to provide visual identification of the property due to site conditions that interfere with reasonable identification of the occupant(s)

The Applicant has indicated the three (3) wall signs will be similar in size to the existing wall signs currently on the building. A review of previous building permit for those signs show a size of approximately 80 square feet in total area. Those are under the 120 square foot area requirement by zoning code. The revised Sign Plan shows the wall sign above the main entrance to the facility at 50 square feet; the other two, smaller wall signs are shown at 73 square feet each. Thus, the combination of all wall signs on the west wall elevation total 123 square feet, exceeding the 120 square foot maximum area allowed.

City staff recommends approval of the Sign Standards Adjustment.

5. Conditional Use Permit

The existing 1,000 gallon gasoline storage tank on the south side of the building was installed under a traditional permit. The project proposes to remove and replace the tank with a 2,000 gallon tank under a Conditional Use Permit (CUP). As noted above, the property is zoned **Limited Industry (L-I)**, which permits by CUP the *storage of coal, gas, junk, salvage, scrap metal and paper* [§125-199(3)(g)], provided that such storage satisfies Performance Standards. The proposed change in tank size is triggering the requirement that the Applicant obtain the necessary CUP for the storage fuel tank. According to the plans, and as required by the L-I Performance Standards [§125-199(5)(f)(1)], the City *may require the screening or fencing of commercial uses to prevent visual blight*. At this time City staff do not see a need to screen the fuel tank as it is not currently screened.

The Planning Commission recommended approval of the Conditional Use Permit, without conditions.

6. Variance Standards

The Applicant has submitted two (2) Variance requests – reduction to the total parking spaces as required by City Code, and reduction in the number of parking islands required.

<u>Off-Street Parking Space Variance</u>

As described above under Parking and Site Circulation, City Code [§125-313(c)(7)] requires a certain number of parking spaces per square foot for different types of uses. Specific to Graco, those requirements are:

- Offices: One space for each 200 sf of gross floor space.
- Manufacturing: One space per 1,500 square feet of floor area for buildings larger than 100,000 square feet.

When complete, the project will feature 172,750 square feet of office, lab and mezzanine areas, and 623,210 square feet of manufacturing and warehouse space. The resulting calculation would require a total of 1,280 parking spaces. As part of the parking analysis, the Applicant conducted an assessment of actual parking needs based on projected total employees and company operations (shifts) at maximum peak hours for office and manufacturing. Based on their analysis the Applicant is showing a need of 702 total parking spaces as being needed to meet company and employee needs. Thus, the Applicant has requested the City consider a Variance from parking standards, approving a reduction to the total parking spaces required by 578 spaces.

As the intent of the expansion is to include a training center (for employees) it is unclear whether the Applicant accounted for parking for persons attending training from other company locations. Prior to City Council approval, the Applicant will need to address this issue, including providing a clear analysis of this use and parking needs and how that relates to other parking needs during peak hours.

That being said, parking standards for many/most cities are outmoded and typically do not take into account current business operations (i.e. employee parking needs). In some regards those parking requirements assume every employee is at work at the same time. Thus, the minimum parking standards often result in the proverbial "sea of parking" that is both costly to build and maintain, and often underutilized, or only used during certain times of the year, as is the case with big box retail stores. Looking at parking requirements based on actual need versus a theoretical need is a better approach.

Still, agreeing to a parking reduction still requires a Variance to City Code standards. Specific to the Graco project, because the Applicant is maximizing the site with productive space, there is not enough room to construct all 1,280 parking stalls required by city Code.

Parking Island Variance

According to City Code [§125-313(c)(6)]: *For every 12 parking spaces in a row a landscaped island, shall be contain at least one (1) tree per island, and be a minimum size of nine (9) feet by 18 feet.* Based on that standard, simple math would require the Applicant to provide a total of 59 parking islands. This would result in the loss of parking spaces from what is already proposed as significantly less than required by City parking standards. The Site and Landscape Plans show a total of 20 landscaped parking islands of varying sizes. The Applicant is proposing to more than double the size of the center islands to accommodate 1,200 cubic feet of high-quality soil volume to support quality tree growth with enough room to reach full maturity. The existing parking islands are standard size, per City Code, and are all currently concrete.

Variance Considerations

For variance applications, the Planning Commission shall use the following criteria as part of its analysis and evaluation when considering whether to approve such requests [§125.58(a)].

1. Variances shall only be permitted when they are in harmony with the general purpose and intent of city code and consistent with the comprehensive plan.
2. Variances may only be permitted when the applicant establishes that there are non-economic practical difficulties in complying with the zoning ordinance, meaning the property owner proposes to use the lot or parcel in a reasonable manner not permitted by the zoning code.
3. The plight of the property owner must be due to circumstances that are unique to the lot or parcel and is not created by the property owner.
4. The variances must not alter the essential character of the locality including all zoning district and overlay district provisions.

Although the practical difficulty aspect of variance requests looks at the "reasonable use" of a property, that consideration by the Planning Commission should also take into account whether a variance is absolutely necessary. In other words, is the Applicant able to comply with current zoning code as stated without the need for a Variance.

Analysis of Variance Requests

City staff finds the Variance requests to be reasonable. The larger landscaped islands are a significant improvement from what exists today, and the reduction in total parking spaces is based on actual need versus what may be antiquated standards. If the City were to require the Applicant to satisfy parking space requirements, it would likely require the company to reduce the size of the building, which would also reduce the number of stalls required. However, the proposed expansion is based on company needs and reducing the space my impact the financial viability of the project. As discussed above, the Applicant should provide information as to the parking assessment for the training facility uses compared to the general operations (office and manufacturing).

The Planning Commission recommended approval of the Variance requests without conditions. An

expressed concern from the Commission was allowing a significant reduction in parking spaces that might result in a City-created parking non-conformity for parking.

7. Development Agreement

A draft Development Agreement (Agreement) that memorializes City approvals related to the Graco expansion project was submitted to the company for review and consideration. If the City and Company are in agreement the Agreement shall be presented to the City Council for consideration at the October 23 or November 13 meeting.

Staff Recommendation

As recommended by the Planning Commission, City staff recommends approval of the following and conditions as cited within each Resolution:

- Resolution No. 2018-90, approving a Preliminary and Final Plat for Graco Addition.
- Resolution No. 2018-91, approving a Site Plan for Graco, Inc., 20500 David Koch Drive.
- Resolution No. 2018-92, approving a Conditional Use Permit for 20500 David Koch Drive for outdoor storage of a 2,000 gallon fuel tank.
- Resolution No. 2018-93, approving a Variance to City Code to allow for a reduction to parking requirements.
- Resolution No. 2018-94, approving a Sign Standard Adjustment for wall sign locations.

ATTACHMENTS:

Description

Resolution No. 2018-90_Preliminary & Final Plat_Graco Project_10-23-2018

Resolution No. 2018-91_Site Plan_Graco Project_10-23-2018

Resolution No. 2018-92_Fuel Tank CUP_Graco Project_10-23-2018

Resolution No. 2018-93_Reduction in Parking Spaces & Parking Islances Variance_Graco Project_10-23-2018

Resolution No. 2018-94_Wall Sign Sign Standard Adjustment_Graco Project_10-23-2018

Preliminary Plat_Graco Addition_10-09-2018

Final Plat_Graco Addition_10-09-2018

Color Rendering Front Elevation

Signs & Colored Elevations_Graco Project_10-17-2018

Site Plans_Graco_10-09-2018

Landscape Plan_Graco_10-09-2018

Revised Elevations_Graco Project_10-16-2018

RESOLUTION NO. 2018 - 90

A RESOLUTION GRANTING APPROVAL OF THE PRELIMINARY AND FINAL PLAT FOR GRACO ADDITION

WHEREAS, Graco, Inc. ("Applicant") submitted an application to the City of Rogers ("City") requesting approval of a Preliminary Plat and Final Plat for Graco Addition ("Plat"); and,

WHEREAS, the Plat shall combine Lot 1, Block 1, PID 24-120-23-23-0007 (14.79 acres), 20500 David Koch Avenue, and Lot 2, Block 1, PID 24-120-23-24-0003 (15.16 acres), of Rogers Industrial Park 2nd Addition, creating one (1) single lot, totaling 29.95 acres, to be legally described as Lot 1, Block 1, Graco Addition; and,

WHEREAS, the proposed Plat is consistent with 2030 Comprehensive Plan and current zoning regulations for the City; and

WHEREAS, on October 16, 2018 the Planning Commission ("Commission") conducted a public hearing to receive public comment on the proposed Plat; and

WHEREAS, no public comment was received related to the Plat application, and the Commission recommended to the City Council approval of the Plat as presented.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, that the Preliminary Plat for Graco Addition is hereby approved.

BE IT FURTHER RESOLVED, the Final Plat for Graco Addition is hereby approved subject to the following conditions:

1. Receipt of the title opinion/commitment for the property as required by City Code §121-34(b)(5); and,
2. A Development Agreement between the City and Applicant, identifying the terms and conditions of the development and financial security obligations of the Applicant, shall be executed and recorded.
3. The Final Plat must be recorded with Hennepin County within six (6) months of approval.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23rd day of October, 2018.

_____
Rick Ihli, Mayor

ATTEST:

_____
Stacy Scharber, City Clerk

EXHIBIT A

LEGAL DESCRIPTION

Existing Legal Description
Lots 1 and 2, inclusive, Block 1, Rogers Industrial Park 2nd Addition

Proposed Legal Description
Lot 1, Block 1, Graco Addition

RESOLUTION NO. 2018 - 91

A RESOLUTION APPROVING SITE PLAN FOR GRACO, INC. FOR THE PURPOSE OF EXPANDING THE EXISTING MANUFACTURING FACILITY AT 20500 AND 20500 DAVID KOCH AVENUE

WHEREAS, Graco, Inc. ("Applicant") submitted a request for Site Plan approval to the City of Rogers ("City") for the expansion of the manufacturing facility owned by the Applicant at 20500 and 20550 David Koch Avenue, platted as Graco Addition, per Resolution No. 2018-90 on October 23, 2018, with PIDs: 24-120-23-23-0007 and 23-120-23-24-0003 ("Subject Property"); and

WHEREAS, the Subject Property is 29.95 acres and is guided as Industrial, per the Rogers 2030 Comprehensive Plan, and zoned Limited Industry (L-I); and

WHEREAS, the Applicant is proposing to expand its existing manufacturing to add new manufacturing/warehousing space, a training facility, and new offices, meeting rooms and research laboratory area ("Development"); and,

WHEREAS, the Development will increase in the size of existing facility from 316,194 square feet to 795,960 square feet; and,

WHEREAS, on October 16, 2018, the Planning Commission reviewed and recommend approval of the Site Plan to the City Council, finding the Development is consistent with the Comprehensive Plan and Zoning and has satisfied City Site Plan requirements.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, the Site Plan request from Graco, Inc. is hereby approved for expansion of the existing manufacturing facility owned by Graco, Inc. on 29.95 acres, located at 20500 and 20550 David Koch Avenue, and platted as Graco Addition.

BE IT FURTHER RESOLVED, approval of the Site Plan is conditioned upon Graco, Inc. and the City of Rogers entering into Development Agreement that shall identify the terms and conditions of the Development and financial security obligations of the Applicant.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor and attested by the Clerk dated this 23rd day of October, 2018.

_____
Rick Ihli, Mayor

ATTEST:

_____
Stacy Scharber, Clerk

EXHIBIT A

LEGAL DESCRIPTION

Block 1, Lot 1, Graco Addition

ESOLUTION NO. 2018 - 92

A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR OUTDOOR FUEL TANK AT 20500 AND 20550 DAVID KOCH AVENUE

WHEREAS, Graco, Inc. ("Applicant") has submitted application to the City of Rogers ("City"), requesting approval of a Conditional Use Permit ("CUP") for a 2,000 gallon outdoor fuel storage tank ("Fuel Tank") at its manufacturing facility, located at 20500 and 20550 David Koch Avenue, PIDs: 24-120-23-23-0007 and 23-120-23-24-0003 ("Subject Property"); and,

WHEREAS, the City Council ("Council") has approved a Site Plan request for the Subject Property, per Resolution No. 2018-91, allowing an expansion of the existing manufacturing facility from 316,194 square feet to 795,960 square feet on 29.95 acres; and,

WHEREAS, the Subject Property is located in the Limited-Industry ("L-I") zoning district; and,

WHEREAS, the storage of coal, gas, junk, salvage, scrap metal and paper in the L-I zoning district are permitted by CUP; and,

WHEREAS, the location of the Fuel Tank shall be on the south side of the building, facing David Koch Avenue, as shown on the Site Plan; and,

WHEREAS, on October 16, 2018 the Planning Commission ("Commission") conducted a public hearing to receive public comment on the proposed CUP; and

WHEREAS, no written or verbal public comment was received related to the application; and

WHEREAS, the Commission considered the application and made the following determinations:

- The proposed Fuel Tank is accessory and related to the principal use and is consistent with the purpose and uses of the L-I zoning district.
- The area of Fuel Tank shall not require fencing or screening, but the Applicant shall consider protective measures, such as bollards.
- The CUP shall only apply to the Fuel Tank. Any future requests for the outdoor storage of equipment and/or materials shall require an amendment to the CUP or application for new CUP.

WHEREAS, based on those determinations, the Commission recommended to the City Council approval of the CUP to the Applicant, permitting the Fuel Tank on the Subject Property.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, that the Conditional Use Permit is hereby approved for the placement of a 2,000 gallon outdoor fuel storage tank at the manufacturing facility owned by Graco, Inc., 20500 and 20550 David Koch Avenue, with the following conditions:

1. The Conditional Use Permit shall only apply to the 2,000 gallon outdoor fuel storage tank. No outdoor storage of trucks/trailers, equipment and/or materials shall be permitted on the property, except by an additional or amendment to this Conditional Use Permit.

2. The Applicant shall be required to protect the 2,000 gallon outdoor fuel storage tank using protective measures such as bollards.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23rd day of October, 2018.

_____
Rick Ihli, Mayor

ATTEST:

_____
Stacy Scharber, City Clerk

EXHIBIT A

LEGAL DESCRIPTION

Lot 1, Block 1, Graco Addition

RESOLUTION NO. 2018 - 93

A RESOLUTION APPROVING A VARIANCE TO ALLOW A REDUCTION IN PARKING SPACE AND PARKING ISLAND REQUIREMENTS FOR 20500 AND 20550 DAVID KOCH AVENUE

WHEREAS, Graco, Inc. ("Applicant") submitted a request for Variance approval to the City of Rogers ("City") to allow for a reduction the number of parking spaces and parking islands as required by City Code related to a proposed expansion of the existing manufacturing facility owned by the Applicant at 20500 and 20550 David Koch Avenue, platted as Graco Addition, per Resolution No. 2018-90 on October 23, 2018, PIDs: 24-120-23-23-0007 and 23-120-23-24-0003 ("Subject Property"); and

WHEREAS, the Subject Property is 29.95 acres and is guided as Industrial, per the Rogers 2030 Comprehensive Plan, and zoned Limited Industry (L-I); and

WHEREAS, the Applicant is proposing to expand its existing manufacturing to add new manufacturing/warehousing space, a training facility, and new offices, meeting rooms and research laboratory area ("Development"); and,

WHEREAS, the Development will increase in the size of existing facility from 316,194 square feet to 795,960 square feet, of which office and manufacturing/warehousing uses will occupy 172,750 square feet and 623,210 square feet, respectively; and,

WHEREAS, City Code §125-313(c)(7) requires the following number of spaces per square foot for each use ("Parking Requirements"):

- Offices: One space for each 200 sf of gross floor space.
- Manufacturing: One space per 1,500 square feet of floor area for buildings larger than 100,000 square feet.

WHEREAS, based on those Parking Requirements the Applicant is to provide a total of 1,280 parking spaces; and

WHEREAS, the Applicant has submitted a parking assessment of actual parking needs based on projected employee growth, as tied to the Development, and maximum peak hours of operations for office and manufacturing employees at projected growth, assuming all employees were on site at the same time; and,

WHEREAS, as a result of that assessment the Applicant demonstrated an actual parking need of 702 total parking spaces, resulting in the Variance request to reduce parking spaces required by 578; and,

WHEREAS, City Code §125-313(c)(6) requires one (1) landscaped island for every 12 parking spaces in a row, at a size of nine (9) feet by 18 feet, and with at least one (1) tree per island ("Island Requirements"); and,

WHEREAS, based on those Island Requirements the Applicant is provide a total of 59 parking islands; and,

WHEREAS, the Applicant has proposed to reduce the number of landscaped parking islands by combining parking islands to create 20 larger landscaped parking islands which will have 1,200 cubic feet of high-quality soil that is more conductive to plant and tree growth; and,

WHEREAS, on October 23, 2018 the Planning Commission ("Commission") conducted a public hearing to consider the application and to receive public comment on the proposed Variances; and,

WHEREAS, no written or verbal public comment was received related to the application; and,

WHEREAS, the Commission considered the Variance requests and made the following determinations:

- The Variance requests maintain harmony with the general purpose and intent of City Code and are consistent with the Comprehensive Plan of the City and applicable zoning district.
- The Applicant has provided data to justify its request to provide fewer parking spaces than required by Parking Requirements.
- The Applicant has proposed an improvement to the Island Requirements.
- The Variance requests enhance the Subject Property and do not alter the essential character of surrounding, similarly zoned properties.

WHEREAS, based on those determinations, the Commission recommended to the City Council approval of both Variances allowing a reduction in parking spaces and parking islands required by City Codes described herein.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, that the following Variance requests are hereby approved:

1. A variance from City Code §125-313(c)(7), allowing a reduction in the number of required parking spaces from 1,280 to 702 as shown on the approved Site Plan, per Resolution No. 2018-91.
2. A variance from City Code §125-313(c)(6), allowing a reduction in the number of required landscaped parking islands by combining parking islands as shown on the approved Site Plan, per Resolution No. 2018-91.

BE IT FUTHER RESOLVED, the following conditions shall apply:

1. Alterations to the Site Plan, as approved per Resolution No. 2018-91, whether relocating, adding to, or further reducing the number of parking spaces and/or parking islands shall require review by the City and may require an amendment to the Site Plan.
2. The Applicant shall be required to maintain all landscaped parking islands in accordance with the landscape plan as shown on the Site Plan, as approved per Resolution No. 2018-91, and may not replace any landscaped parking island with concrete or other hard, impervious surfaces, unless otherwise approved by the City.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23rd day of October, 2018.

_____
Rick Ihli, Mayor

ATTEST:

_____
Stacy Scharber, City Clerk

EXHIBIT A

LEGAL DESCRIPTION

Block 1, Lot 1, Graco Addition

RESOLUTION NO. 2018 - 94

A RESOLUTION APPROVING A SIGN STANDARDS ADJUSTMENT FOR GRACO, INC. LOCATED AT 20500 AND 20500 DAVID KOCH AVENUE

WHEREAS, Graco, Inc. ("Applicant") received Site Plan approval to the City of Rogers ("City") for the expansion of the manufacturing facility owned by the Applicant at 20500 and 20550 David Koch Avenue ("Subject Property"), per Resolution No. 2018-91, on October 23, 2018; and

WHEREAS, the Subject Property is 29.95 acres and zoned Limited Industry (L-I) and is located in the ILS Industry Large Site Sign Overlay District, which allows wall signs with a maximum area of 2 square feet per lineal feet, up to a maximum of 120 square feet, and only one (1) wall sign per street frontage; and freestanding signs with a maximum area of 36 square feet and maximum height of eight (8) feet; and,

WHEREAS, the Applicant intends to reuse the existing freestanding sign and in its current location on the Subject Property; and,

WHEREAS, the revised Sign Plan, submitted to the City on October 17, 2018, shows no wall sign on the north wall elevation facing Commerce Boulevard, two (2) wall signs on the west wall elevation facing George Weber Drive, and one (1) wall sign on the south wall elevation facing David Koch Avenue; and,

WHEREAS, the wall sign above the main facility entrance on the west wall elevation has a total area of 50 square feet; and the other two (2) wall signs have a total area of 73 square feet each; and,

WHEREAS, the Applicant is seeking an adjustment to City sign standards, allowing two (2) wall signs on the west wall elevation by relocating the permitted wall sign from north wall elevation to the west wall elevation above the training center entrance; and,

WHEREAS, the combined area of the proposed wall signs for the west wall elevation total 123 square feet, exceeding the total maximum sign area allowed for one (1) wall sign as described herein; and,

WHEREAS, the requested Sign Standard Adjustment:

- Shall not result in increase in the overall amount of signage on the property.
- Is in harmony with the general purpose and intent of City Code and is consistent with the Comprehensive Plan.
- Is reasonable based on the use of the lot.
- Is not in conflict with the essential character of the locality including all zoning district and overlay district provisions.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, that the Sign Standards Adjustment request from Graco, Inc. is hereby approved, allowing the relocation of the wall sign from the north wall elevation to the

west wall elevation above the entrance to the training center affronting George Weber Drive with the following conditions:

1. The Applicant shall not be allowed a wall sign on the north wall elevation, unless otherwise approved by the City.
2. The combined total area of the wall signs on the west wall elevation shall comply with the Sign Plan and may not exceed 123 square feet.
3. The total sign area for the wall sign on the south wall elevation shall comply with the Sign Plan and may not exceed the maximum allowed of 120 square feet.
4. The Applicant shall comply with the final sign plans submitted to the City for the wall signs, including but not limited to materials, dimensions, illumination, etc.
5. The Applicant shall obtain a building permit for all signs.

BE IT FURTHER RESOLVED, any revisions to the existing freestanding sign must conform to City sign standards, including application for building permit and/or sign standard adjustment, if necessary.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23rd day of October, 2018.

_____
Rick Ihli, Mayor

ATTEST:

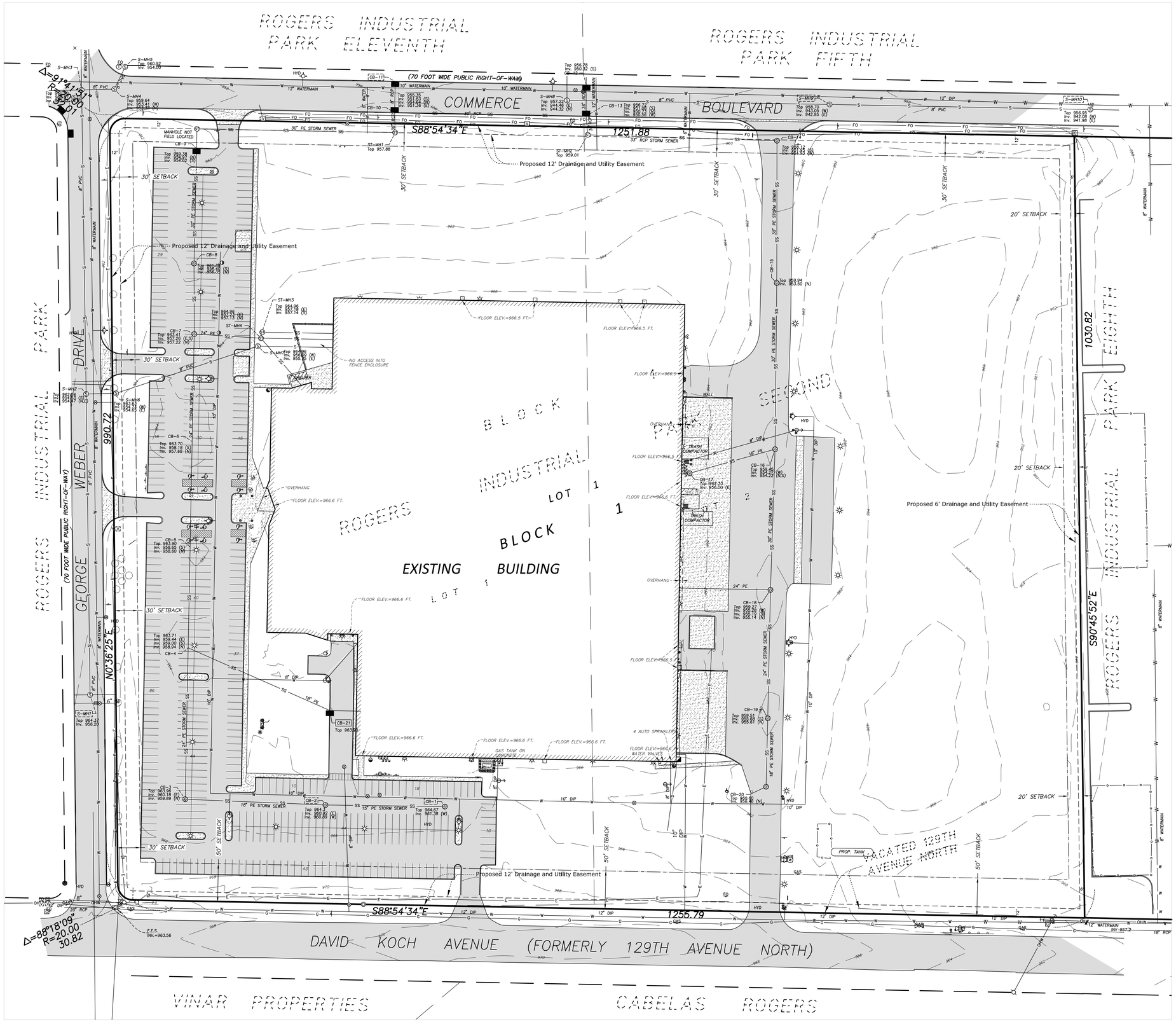
_____
Stacy Scharber, City Clerk

EXHIBIT A

LEGAL DESCRIPTION

Lot 1, Block 1, Graco Addition

Preliminary Plat of: GRACO ADDITION



NOTES

- Bearings are based on the plat of ROGERS INDUSTRIAL PARK SECOND.
- Contact Gopher State One Call for utility locations before any construction shall begin. Phone 651-454-002.
- Area = 1,312,227 square feet (30.12 acres).
- Existing Zoning: LI - Limited Industry
- Proposed Zoning: LI - Limited Industry
- 2030 Comprehensive Plan: Industrial
- This property is located in Flood Zone X (area outside 0.2% annual chance floodplain) per Flood Insurance Rate Map Number 27053C0033F dated November 4, 2016.
- Topographic and utility information taken from survey provided by owner.

UTILITY STATEMENT

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are shown as accurately as possible from information available. The surveyor has not physically located the underground utilities.

OWNER/DEVELOPER

Graco Minnesota Inc.
PO Box 1441
Minneapolis, MN 55440
Phone: 612-623-6000
Attention: Michael Hatling

ARCHITECT

RSP Architects
1220 Marshall St NE
Minneapolis, MN 55413
Phone: 612-677-7205
Attention: Matt Lilly

SURVEYOR/ENGINEER

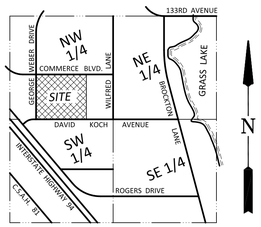
Rehder & Associates, Inc.
3440 Federal Drive
Suite 110
Eagan, Minnesota 55122
Phone: 651-452-5051
Attention: Ben Ford

N

0 30 60 120 180
Scale in Feet

LEGEND

- Iron Monument Found
- S — Sanitary Sewer
- SS — Storm Sewer
- W — Watermain
- Hyd. — Hydrant
- GV — Gate Valve
- PIV — Post Indicator Valve
- MH — Manhole
- CB — Catch Basin
- CO — Cleanout
- Flared End
- Inv. — Invert Elevation
- Guard Post
- PP — Power Pole
- LP — Light Pole
- Electrical Transformer
- C — Communications Pedestal
- Concrete Surface
- Bituminous Surface
- G — Buried Gas
- C — Buried Communications
- E — Buried Electric
- GM — Gas Meter
- Building Setback Line



Vicinity Map
Section 24, Township 120, Range 23
No Scale

PROPERTY DESCRIPTION

Lots 1 and 2, Block 1, ROGERS INDUSTRIAL PARK SECOND, according to the recorded plat thereof, Hennepin County, Minnesota.

And

That part of 129th Avenue North dedicated to the public in the plats of ROGERS INDUSTRIAL PARK and ROGERS INDUSTRIAL PARK SECOND, according to the recorded plats thereof, Hennepin County, Minnesota, which lies westerly of the southerly extension of the east line of Lot 2, Block 1, said ROGERS INDUSTRIAL PARK SECOND and northerly of the following described line:

Commencing at a point on the south line of Lot 1, Block 1, said ROGERS INDUSTRIAL PARK SECOND, said point being the terminus of the 20.00 foot radius curve at the southwest corner of said Lot 1; thence South 88 degrees 54 minutes 34 seconds East, along said south line, a distance of 304.28 feet to a point of curvature in said south line and the beginning of the line to be described; thence continuing South 88 degrees 54 minutes 34 seconds East to the southerly extension of the east line of said Lot 2 and there said line terminates.

I hereby certify that this preliminary plat was prepared by me or under my direction and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 6th day of September, 2018

REHDER & ASSOCIATES, INC.

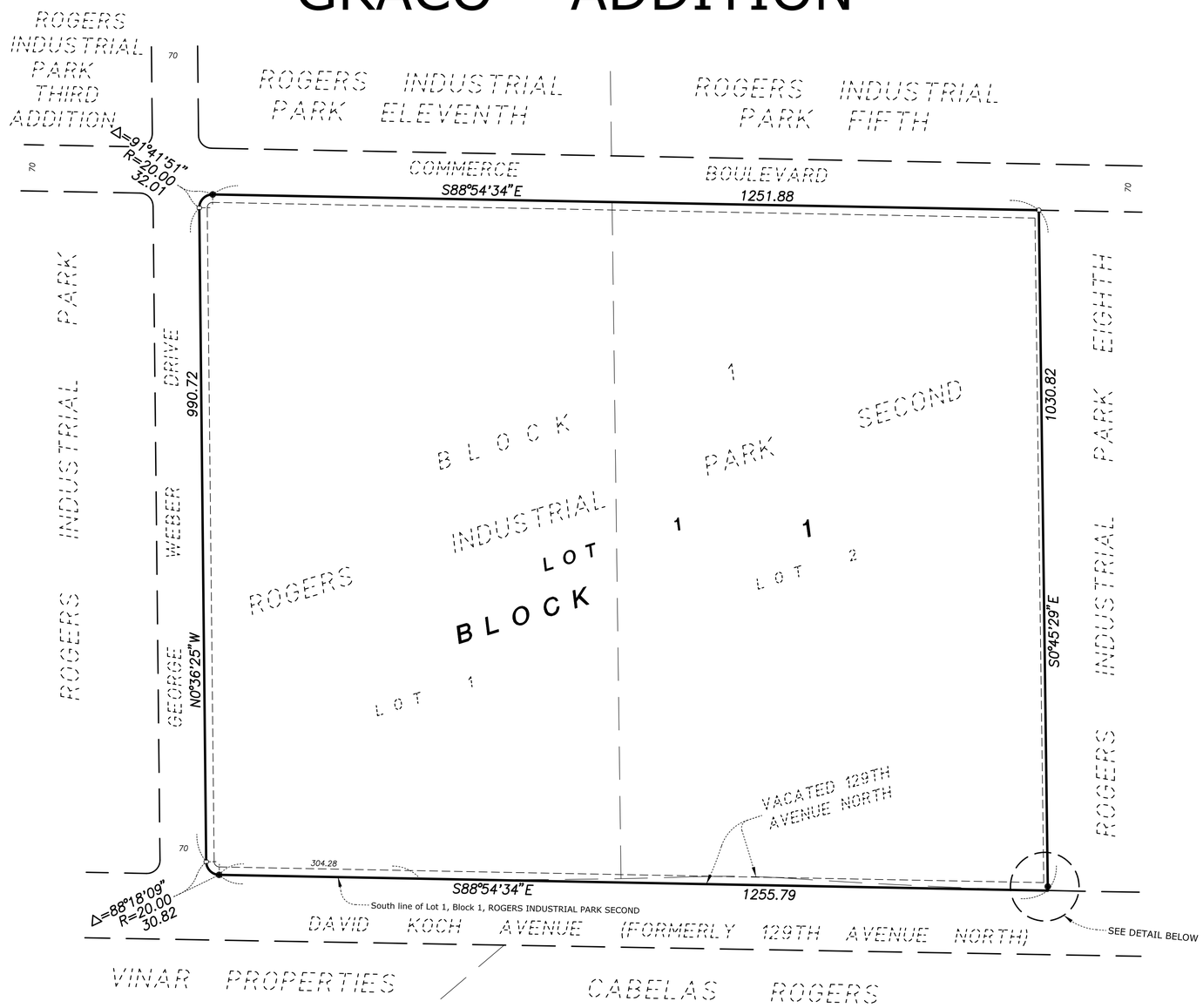
Gary C. Huber, Land Surveyor
Minnesota License No. 22036
Revised October 2, 2018

Rehder and Associates, Inc.
CIVIL ENGINEERS AND LAND SURVEYORS
3440 Federal Drive • Suite 110 • Eagan, Minnesota • Phone (651) 452-5051

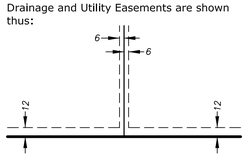
JOB: 184-0591.303

GRACO ADDITION

R.T. DOC. NO. _____
C.R. DOC. NO. _____



Drainage and Utility Easements are shown thus:

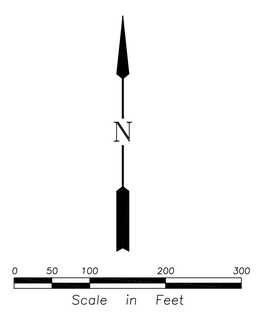


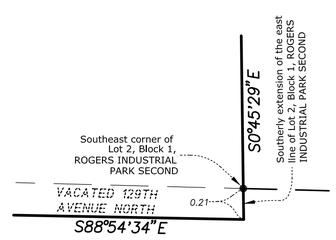
Being 6 feet in width and adjoining lot lines and being 12 feet in width and adoining right of way lines unless otherwise indicated on the plat.

The north line of ROGERS INDUSTRIAL PARK SECOND has a bearing of S88°54'34"E.

● Denotes iron monument found

○ Denotes 1/2 inch by 14 inch iron monument set and marked by Minnesota License No. 22036





DETAIL

KNOW ALL PERSONS BY THESE PRESENTS: That Graco Minnesota, Inc., fee owner of the following described property situated in the County of Hennepin, State of Minnesota to wit:

Lots 1 and 2, Block 1, ROGERS INDUSTRIAL PARK SECOND.

And

That part of 129th Avenue North dedicated to the public in the plats of ROGERS INDUSTRIAL PARK and ROGERS INDUSTRIAL PARK SECOND, according to the recorded plats thereof, Hennepin County, Minnesota, which lies westerly of the southerly extension of the east line of Lot 2, Block 1, said ROGERS INDUSTRIAL PARK SECOND and northerly of the following described line:

Commencing at a point on the south line of Lot 1, Block 1, said ROGERS INDUSTRIAL PARK SECOND, said point being the terminus of the 20.00 foot radius curve at the southwest corner of said Lot 1; thence on an assumed bearing of South 88 degrees 54 minutes 34 seconds East, along said south line, a distance of 304.28 feet to a point of curvature in said south line and the beginning of the line to be described; thence continuing South 88 degrees 54 minutes 34 seconds East to the southerly extension of the east line of said Lot 2 and there said line terminates.

Has caused the same to be surveyed and platted as GRACO ADDITION and does hereby dedicate to the public for public use the drainage and utility easements as created by this plat.

In witness whereof said Graco Minnesota, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officer this _____ day of _____ , 2018.

GRACO MINNESOTA, INC.

By _____
Michael Hatling, its _____

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on this_____ day of _____ , 2018, by Michael Hatling, _____ of Graco Minnesota, Inc., a Minnesota corporation, on behalf of the corporation.

_____ Notary Printed Name

_____ Notary Public, _____ County, Minnesota
My Commission Expires _____

I, Gary C. Huber do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____day of _____ , 2018.

_____
Gary C. Huber, Licensed Land Surveyor
Minnesota License No. 22036

STATE OF MINNESOTA
COUNTY OF DAKOTA

This instrument was acknowledged before me on this _____ day of _____ , 2018, by Gary C. Huber.

_____ Notary Printed Name

_____ Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY COUNCIL, CITY OF ROGERS, MINNESOTA

This plat of GRACO ADDITION was approved and accepted by the City Council of the City of Rogers, Minnesota at a regular meeting thereof held this _____ day of _____ , 2018. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30-day period has elapsed without receipt of such comments and recommendations, as provided by Minnesota Statutes, Section 505.03, Subdivision 2.

City Council, City of Rogers, Minnesota

By: _____ , Mayor By: _____ , Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that the taxes payable in 2018 and prior years have been paid for land described on this plat, dated this _____ day of _____ , 2018.

Mark V. Chapin, County Auditor By: _____ , Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to MN. STAT. Section 383B.565 (1969), this plat has been approved this ____ day of _____ , 2018.

Chris F. Mavis, County Surveyor By: _____

REGISTRAR OF TITLES, Hennepin County, Minnesota

I hereby certify that the within plat of GRACO ADDITION was filed in this office this _____ day of _____ , 2018, at ____ o'clock ___ .M.

Martin McCormick, Registrar of Titles By: _____ , Deputy

COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of GRACO ADDITION was recorded in this office this _____ day of _____ , 2015, at ___ o'clock ____ .M.

Martin McCormick, County Recorder By: _____ , Deputy

Rehder and Associates, Inc.

NORTHWEST CORNER RENDERING

SOUTHWEST CORNER RENDERING

RSP

RSP Architects
1220 Marshall Street NE
Minneapolis
Minnesota 55413-1036

612.677.7100
612.677.7499 fax
www.rsparch.com

Consultants

Certification

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Name

License Number

Date Signed

Project For

GRACO KOCH CENTER
ROGERS, MN

EXPANSION AND RENOVATION

Project No.	1684.004.00
Drawn By	Author
Checked By	Checker
Date	09/12/18

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

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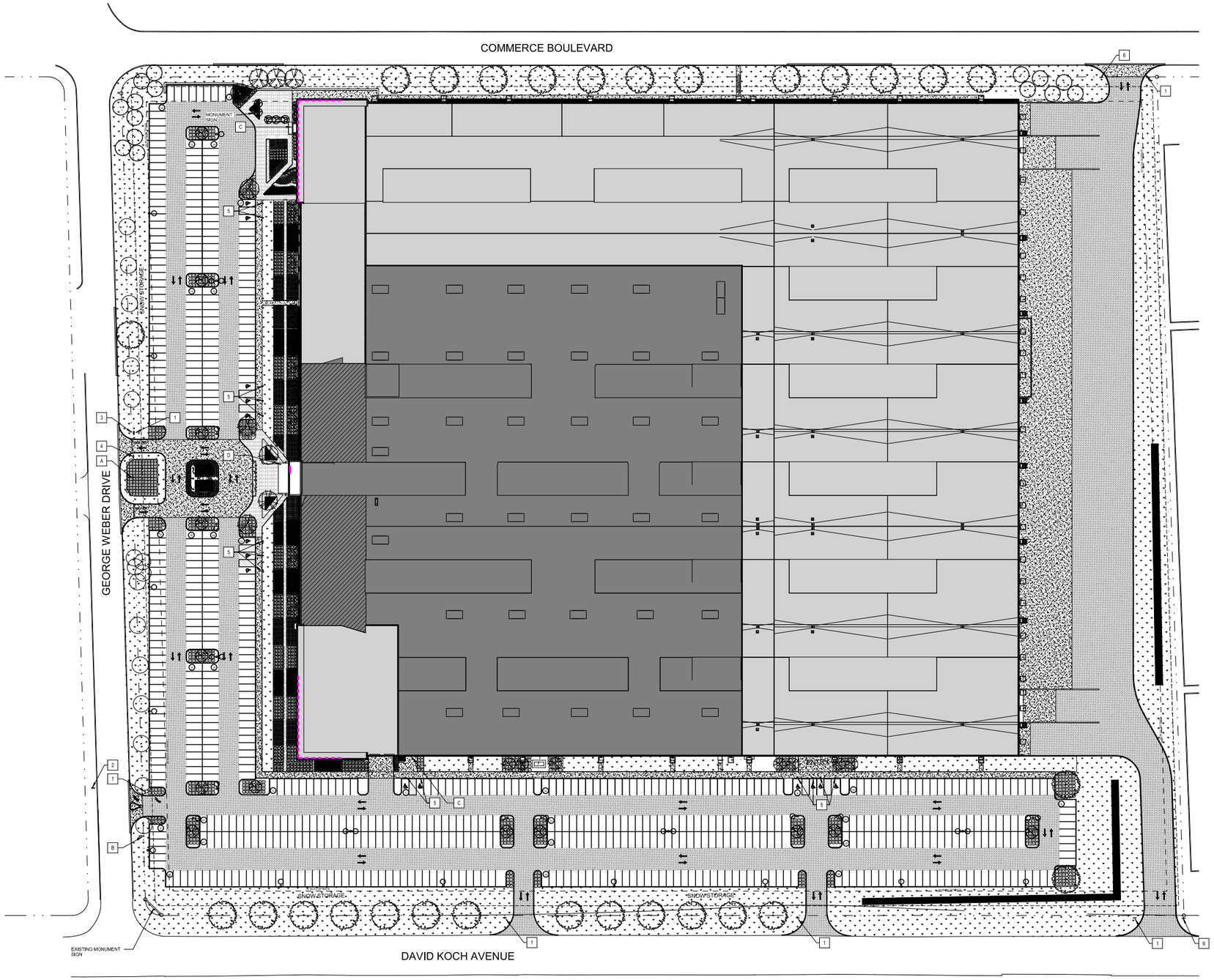
Sheet Issues / Revisions

No.	Date	Description

3D VIEW

A600



1 SITE SIGNAGE PLAN
1" = 50'-0"

SITE SIGNAGE KEY

SCALE: NONE

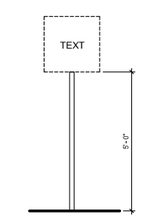
1	MUTCD R1-1
2	MUTCD R3-2
3	MUTCD R5-1
4	MUTCD R5-1A
5	MUTCD R7-8
	MUTCD R7-8A
6	WAY FINDING: TRUCKS ONLY

OWNER'S DIRECTIONAL SIGNAGE (SAMPLE SHOWN)

	SIDE A (SOUTH)	SIDE B (NORTH)
A	All Visitors Parking	All Visitors Parking
B	All Visitors Parking Employee Parking	

C 73 SF LIGHTED SIGN

D 50 SF LIGHTED SIGN



SIGN MOUNTING DETAIL
1/2" = 1'-0"

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Name

License Number

Date Signed

Project For

GRACO KOCH CENTER
ROGERS, MN

EXPANSION AND RENOVATION

Project No.	1684.004.00
Drawn By	Author
Checked By	Checker
Date	10/15/18

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Sheet Issues / Revisions

No.	Date	Description

SITE SIGNAGE PLAN

A051

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10/17/2018 12:34:13 PM

1 COLORED WEST ELEVATION
1/32" = 1'-0"

2 PARTIAL COLORED WEST ELEVATION - NORTH PORTION
1/16" = 1'-0"

3 PARTIAL COLORED WEST ELEVATION - SOUTH PORTION
1/16" = 1'-0"

RSP

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Minneapolis
Minnesota 55413-1036
612.677.3100
612.677.7499 fax
www.rsparch.com

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Name

License Number

Date Signed

Project For

GRACO KOCH CENTER
ROGERS, MN

EXPANSION AND
RENOVATION

Project No.	1684.004.00
Drawn By	Author
Checked By	Checker
Date	10/03/18

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Sheet Issues / Revisions

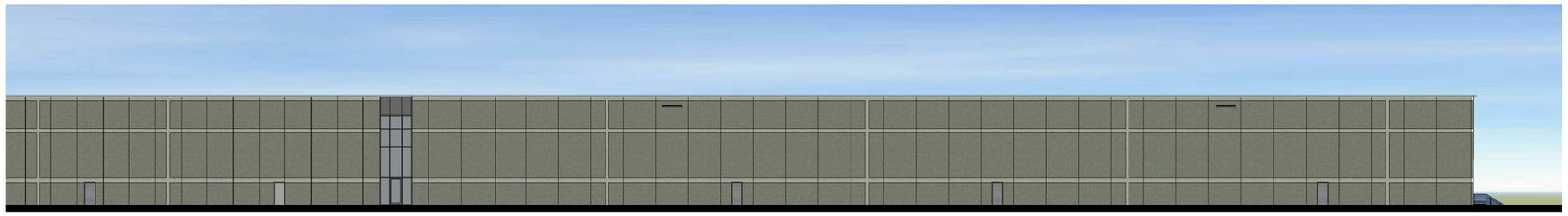
No.	Date	Description

EXTERIOR
ELEVATIONS- WEST

A401A

1 COLORED SOUTH ELEVATION
1/32" = 1'-0"

2 PARTIAL COLORED SOUTH ELEVATION -WEST PORTION
1/16" = 1'-0"



3 PARTIAL COLORED SOUTH ELEVATION - EAST PORTION
1/16" = 1'-0"

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Project For

GRACO KOCH CENTER
ROGERS, MN

EXPANSION AND
RENOVATION

Project No.	1684.004.00
Drawn By	Author
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Sheet Issues / Revisions

No.	Date	Description

EXTERIOR
ELEVATIONS- SOUTH

A402A

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1 COLORED EAST ELEVATION
1/32" = 1'-0"

2 PARTIAL COLORED EAST ELEVATION - SOUTH PORTION
1/16" = 1'-0"

3 PARTIAL COLORED EAST ELEVATION - NORTH PORTION
1/16" = 1'-0"

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612.677.7499 fax
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Name

License Number

Date Signed

Project For

GRACO KOCH CENTER
ROGERS, MN

EXPANSION AND
RENOVATION

Project No.	1684.004.00
Drawn By	Author
Checked By	Checker
Date	10/03/18

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Sheet Issues / Revisions

No.	Date	Description

EXTERIOR
ELEVATIONS- EAST

A403A

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10/17/2018 12:34:15 PM

1 COLORED NORTH ELEVATION
1/32" = 1'-0"

2 PARTIAL COLORED NORTH ELEVATION - WEST PORTION
1/16" = 1'-0"

3 PARTIAL COLORED NORTH ELEVATION - EAST PORTION
1/16" = 1'-0"

RSP

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Minneapolis
Minnesota 55413-1036
612.677.3100
612.677.7499 fax
www.rsparch.com

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Project For

GRACO KOCH CENTER
ROGERS, MN

EXPANSION AND
RENOVATION

Project No.	1684.004.00
Drawn By	Author
Checked By	Checker
Date	10/03/18

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Sheet Issues / Revisions

No.	Date	Description

EXTERIOR
ELEVATIONS- NORTH

A404A

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RSP ARCHITECTS

GRACO KOCH CENTER ROGERS, MN

20500 DAVID KOCH AVENUE, ROGERS, MN 55374

RSP PROJECT NUMBER: 1684.004.00

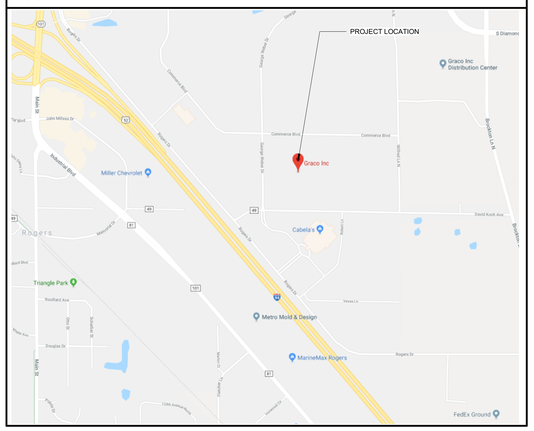
DOCUMENT PACKAGE

ISSUED: 9/11/2018

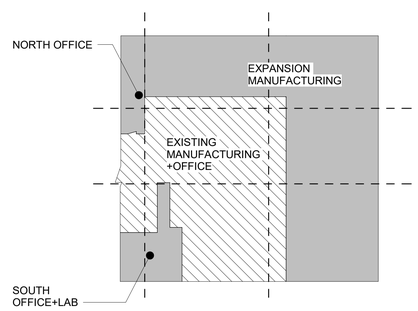
PACKAGE: CITY SUBMITTAL PACKAGE
REVISED & RESUBMITTED 10/09/2018

PERSPECTIVE

LOCATION MAP



KEY PLAN



SHEET INDEX

DRAWINGS	
SHEET NO.	NAME
01 General	
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20 Civil	
C000	SITE DIMENSION PLAN
C100A	SITE DEMOLITION PLAN
C100B	SITE DEMOLITION PLAN
C100C	SITE DEMOLITION PLAN
C100D	SITE DEMOLITION PLAN
C101A	SITE DIMENSION PLAN
C101B	SITE DIMENSION PLAN
C101C	SITE DIMENSION PLAN
C101D	SITE DIMENSION PLAN
C102A	GRADING, DRAINAGE & EROSION CONTROL PLAN
C102B	GRADING, DRAINAGE & EROSION CONTROL PLAN
C102C	GRADING, DRAINAGE & EROSION CONTROL PLAN
C102D	GRADING, DRAINAGE & EROSION CONTROL PLAN
C103A	UTILITY PLAN
C103B	UTILITY PLAN
C103C	UTILITY PLAN
C103D	UTILITY PLAN
C104A	DETAILS
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L003	TREE REMOVAL PLAN
L010	LANDSCAPE SCHEDULES
L100	KEY PLAN
L101	OVERALL PLAN
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L111	LANDSCAPE PLAN - SOUTHWEST
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L300	LANDSCAPE SITE SECTIONS
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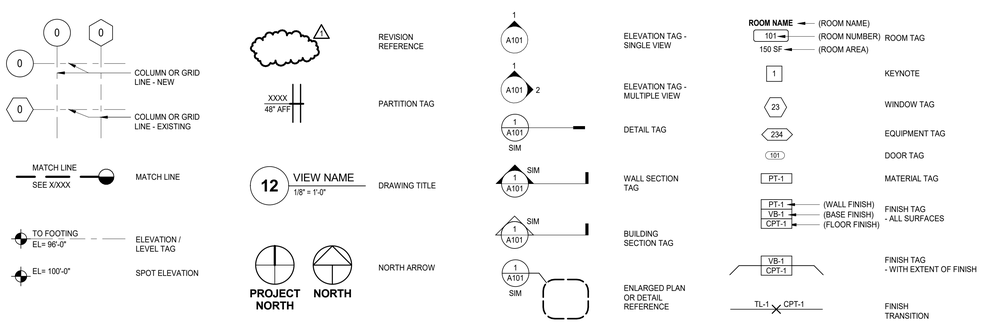
A102	OVERALL SECOND FLOOR PLAN
A401	EXTERIOR ELEVATIONS- WEST
A401A	EXTERIOR ELEVATIONS- WEST
A402	EXTERIOR ELEVATIONS- SOUTH
A402A	EXTERIOR ELEVATIONS- SOUTH
A403	EXTERIOR ELEVATIONS- EAST
A403A	EXTERIOR ELEVATIONS- EAST
A404	EXTERIOR ELEVATIONS- NORTH
A404A	EXTERIOR ELEVATIONS- NORTH
45 Electrical	
E011	SITE PLAN - NEW

DRAWING SYMBOLS



PROJECT TEAM

OWNER

GRACO
1112 SIBLEY STREET NE
MINNEAPOLIS, MN 55413
Phone: 612/623-6000

MIKE HATLING
Phone: 612/623-6692
Email: MICHAEL_K_HATLING@GRACO.COM

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MORTENSON CONSTRUCTION
700 MEADOW LANE NORTH
MINNEAPOLIS, MN 55422
Phone: 763/522-2100

KELLY MANSELL
Phone: 763/287-5915
Email: KELLY.MANSELL@MORTENSON.COM

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Phone: 612/677-7231
Email: DAVE.NORBACK@RSPARCH.COM

MATT LILLY, Senior Project Manager
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Email: MATT.LILLY@RSPARCH.COM

MARK BOSSARD, Senior Project Architect
Phone: 612/677-7154
Email: MARK.BOSSARD@RSPARCH.COM

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REHDER AND ASSOCIATES, INC.
3440 FEDERAL DRIVE, SUITE 110
EAGAN, MN 55122
Phone: 651/452-5051 Fax: 651/452-9797

BEN FORD, P.E.
Phone: 651/337-6730
Email: BFORD@REHDER.COM

STRUCTURAL ENGINEERS

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2550 UNIVERSITY AVENUE W #201-S
ST. PAUL, MN 55114
Phone: 651/251-7570 Fax: 651/251-7578

PAUL BAKKE, SENIOR PROJECT MANAGE
Phone: 651/414-6165
Email: PBAKKE@ERAENG.COM

MECH/ELEC ENGINEERS

MICHAUD COOLEY ERICKSON
333 SOUTH SEVENTH STREET, SUITE 1200
MINNEAPOLIS, MN 55402
Phone: 612/339-4941 Fax: 612/339-8354

JASON PETERMANN, PE | MECHANICAL
Phone: 612/673-6955
Email: JPETERMANN@MICHAUDCOOLEY.COM

JAY D. FROST, ELECTRICAL
Phone: 612/673-6833
Email: JFROST@MICHAUDCOOLEY.COM

LANDSCAPE ARCHITECT

DAMON FARBER LANDSCAPE ARCHITECTS
401 2ND AVENUE NORTH, SUITE 410
MINNEAPOLIS, MN 55401
Phone: 612/332-7522 Fax: 612/332-0936

CHUCK EVENS, PLA SENIOR ASSOCIATE
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Email: CEVENS@DAMONFARBER.COM

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Name

License Number

Date Signed

Project For

GRACO KOCH CENTER
ROGERS, MN

EXPANSION AND RENOVATION

Project No.	1684.004.00
Drawn By	Author
Checked By	Checker
Date	10/08/18

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Sheet Issues / Revisions

No.	Date	Description

COVER SHEET

G000

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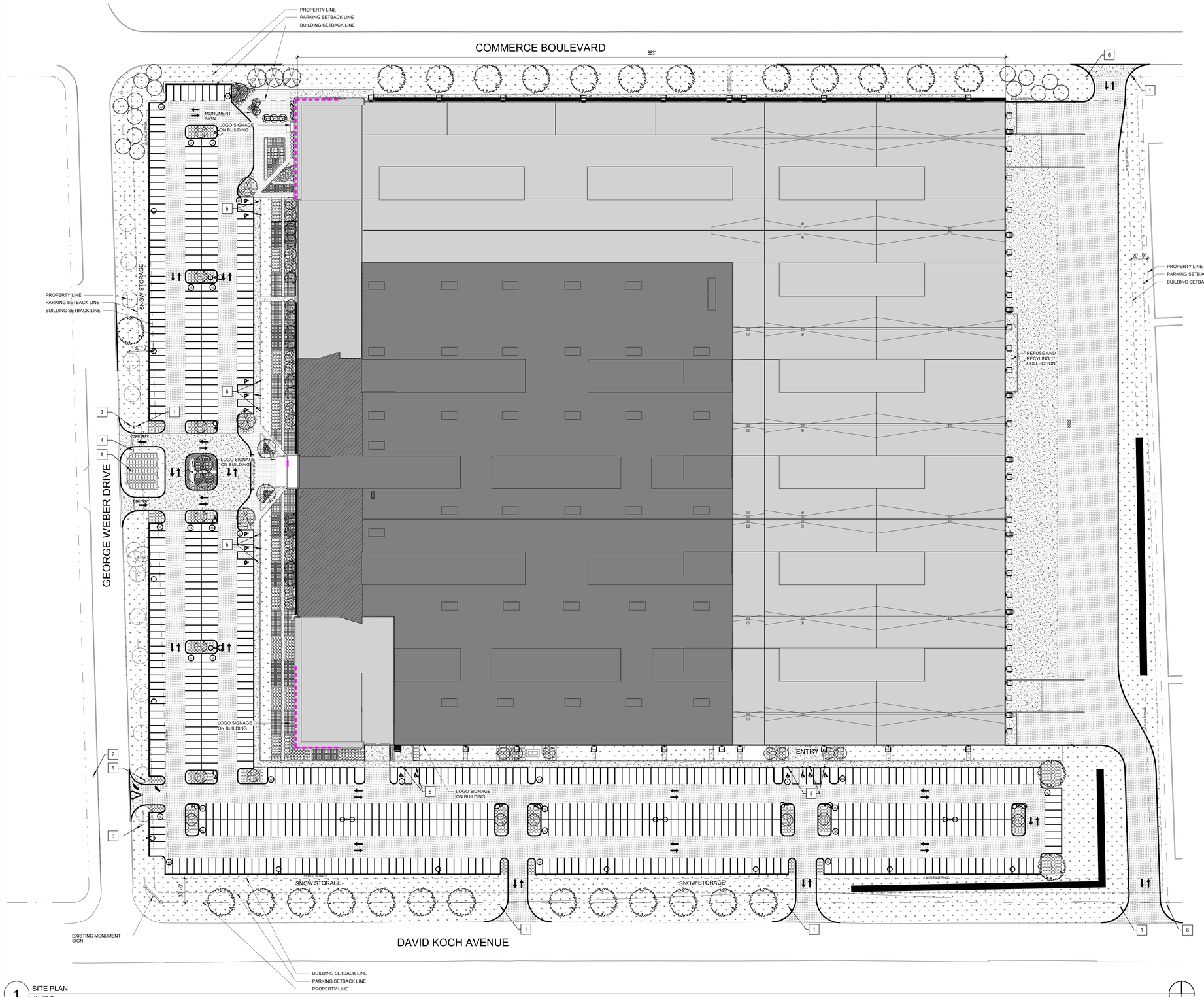


1 SITE PLAN
1" = 50'-0"

0' 25'-0" 50'-0" 100'-0" 200'-0"
SCALE: 1" = 50'

TOTAL SITE AREA:
1,323,173 SQ FT

USE: MANUFACTURING/WAREHOUSE
OFFICE SUPPORT

ZONING:
L-1

EXISTING BUILDING TOTAL:
316,194 SQ FT

PROPOSED BUILDING ADDITION TOTAL:
479,766 SQ FT

TOTAL FLOOR AREA:
795,960 SQ FT

FAR: 795,960 / 1,323,173 = 0.6

EXISTING PARKING TOTAL:
527 STALLS

REQUIRED PARKING:
1,280 STALLS

PROPOSED PARKING (BASED ON
PROJECTED EMPLOYEE COUNTS):
702 STALLS

AREA BREAKDOWN:

TOTAL EXISTING MANUFACTURING
AREA:
258,041 SQ FT

TOTAL PROPOSED MANUFACTURING
AREA:
365,169 SQ FT

TOTAL EXISTING OFFICE+ LAB AREA-
FIRST AND MEZZANINE LEVEL:
58,153 SQ FT

TOTAL PROPOSED OFFICE+ LAB AREA-
FIRST AND MEZZANINE LEVEL:
114,597 SQ FT

SITE SIGNAGE KEY
SCALE: NONE

1	STOP	MUTCD R1-1
2		MUTCD R3-2
3	DO NOT ENTER	MUTCD R5-1
4	WRONG WAY	MUTCD R5-1A
5	RESERVED PARKING VAN ACCESSIBLE	MUTCD R7-8 MUTCD R7-8A
6	TRUCKS ONLY	WAY FINDING: TRUCKS ONLY

OWNER'S DIRECTIONAL SIGNAGE
(SAMPLE SHOWN)

	SIDE A (SOUTH)	SIDE B (NORTH)
A	All Visitors Parking	All Visitors Parking
B	All Visitors Parking Employee Parking	

PAVING KEY
SCALE: NONE

- CONCRETE
- BITUMINOUS - STANDARD DUTY
- BITUMINOUS - HEAVY DUTY
- GRASS

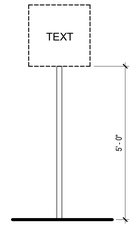
Existing Site Area: 30.01 Ac
Existing Impervious Area: 13.65 Ac (45.5%)
Existing Pervious Area: 16.36 Ac (54.5%)

Proposed Site Area: 30.12 Ac
Proposed Impervious Area: 25.70 Ac (85.3%)
Proposed Pervious Area: 4.42 (14.7%)

Right of Way Widths:
George Weber Drive: 70'
Commerce Boulevard: 70'
David Koch avenue: Varies 98.94' to 97.01'

EXTERIOR LIGHTING SYMBOL KEY
SCALE: NONE

- WALL MOUNTED LIGHT FIXTURE
- LIGHT POLE



SIGN MOUNTING DETAIL
1/2" = 1'-0"

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Consultants

Certification

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Name

License Number

Date Signed

Project For

GRACO KOCH CENTER
ROGERS, MN

EXPANSION AND
RENOVATION

Project No.	1684.004.00
Drawn By	BW
Checked By	MB
Date	9/28/2018

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Sheet Issues / Revisions

No.	Date	Description

SITE PLAN

A001

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EXISTING CONDITIONS & SITE REMOVAL NOTES

SITE REMOVAL NOTES

1. EXISTING SITE INFORMATION WAS PROVIDED BY OTHERS. ACTUAL FIELD CONDITIONS MAY VARY. FIELD VERIFY UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
2. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE.
3. CONTRACTOR TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION BY CALLING GOPHER STATE ONE-CALL AT 651-454-0002 (METRO) OR 1-800-252-1166 (OUT-STATE).
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY UTILITY COMPANY'S FORCES AND FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FEES AND CHARGES.
5. ALWAYS VERIFY BENCHMARK ELEVATIONS BETWEEN TWO BENCHMARKS.
6. REMOVAL ITEMS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER PER LOCAL GOVERNING AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
7. PRIOR TO DEMOLITION, EROSION CONTROL DEVICES ARE TO BE INSTALLED WHERE NECESSARY AND OBTAIN AN NPDES STORM WATER PERMIT. REFER TO CIVIL FOR EROSION CONTROL.
8. DAMAGE TO REMAINING EXISTING CONDITIONS WILL BE REPLACED AT CONTRACTOR'S EXPENSE AND SHALL BE EQUAL TO OR EXCEED THE QUALITY OF CONSTRUCTION PRIOR TO DAMAGE.
9. CONCRETE PAVEMENT, SIDEWALKS, CURB AND GUTTER, AND OTHER POURED CONCRETE ITEMS ARE TO BE REMOVED TO AN EXISTING EXPANSION OR CONTRACTION JOINT.
10. CONTRACTOR SHALL LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS. IF DAMAGE IS INCURRED ON THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO THE OWNER. BITUMINOUS PAVEMENT REMOVALS ARE TO BE MADE WITH A VERTICAL SAW CUT OR TO A NEAT MILLED EDGE.
11. CONTRACTOR SHALL PRESERVE VEGETATION NOT TO BE REMOVED BY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-SEEDING OR SODDING AREAS DISTURBED BY CONSTRUCTION.
12. LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT DISCREPANCIES BETWEEN THEIR MEASUREMENTS AND THESE PLANS. CONTRACTOR SHALL ALSO MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
13. EXISTING UTILITIES TO REMAIN IN PLACE UNLESS SPECIFICALLY MARKED ON THIS SHEET.

SITE AND LANDSCAPE NOTES

SITE PREPARATION NOTES

1. CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.
2. CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
3. CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND MATERIALS SUPPLIED.
4. CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION OPERATIONS. DAMAGE TO SAME SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION BEGINS (MINIMUM 10' CLEARANCE).
6. CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
7. UNDERGROUND UTILITIES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF EXISTING TREES TO REMAIN.
8. EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER ELEMENTS ARE BASED UPON INFORMATION SUPPLIED TO THE LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.
9. HORIZONTAL AND VERTICAL ALIGNMENT OF PROPOSED WALKS, TRAILS OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. CHANGES IN ALIGNMENT AND GRADES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.
10. CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
11. CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF SUBSTANTIAL COMPLETION. REPAIR OF ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO SUBSTANTIAL COMPLETION SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
12. EXISTING TREES OR SIGNIFICANT SHRUB MASSINGS FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
13. EXISTING TREES TO REMAIN, UPON DIRECTION OF LANDSCAPE ARCHITECT, SHALL BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD, DAMAGED AND RUBBING BRANCHES.
14. CONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE SUBSTANTIAL COMPLETION INSPECTION OF LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO SUBMITTING FINAL PAY REQUEST.
15. CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWING(S) OF LANDSCAPE INSTALLATION, IRRIGATION AND SITE IMPROVEMENTS UPON COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO SUBSTANTIAL COMPLETION.
16. SYMBOLS ON PLAN DRAWING TAKE PRECEDENCE OVER SCHEDULES IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS AND DETAILS TAKE PRECEDENCE OVER NOTES.

GRADING

1. ROUGH GRADING AND FINISHED GRADING TO BE DONE BY OTHERS EXCEPT WHERE NOTED.
2. GRADING LIMITS ARE DEFINED AS THE JUNCTURE OF PROPOSED GRADE WITH EXISTING GRADE UNLESS NOTED OTHERWISE.
3. GRADING LIMITS AND LIMITS OF WORK SHOWN ON PLAN ARE ONLY APPROXIMATE AND MAY BE ADJUSTED IN FIELD BY LANDSCAPE ARCHITECT. WORK OUTSIDE OF THESE LIMITS WILL BE DONE AT LANDSCAPE CONTRACTORS EXPENSE UNLESS DIRECTED BY LANDSCAPE ARCHITECT OR OWNER IN WRITING.
4. FILL/CUT AS NECESSARY TO PROVIDE A 1% MINIMUM GRADE AWAY FROM BUILDINGS WITHIN LIMITS OF CONSTRUCTION.
5. SALVAGE TOPSOIL FROM THE EARTHWORK AREAS AS APPROPRIATE OR AS INDICATED ON PLANS AND STOCKPILE FOR REUSE.
6. OBTAIN SOIL SAMPLE FROM SALVAGED TOPSOIL STOCKPILE AND SUBMIT TO INDEPENDENT TESTING AGENCY FOR ANALYSIS.
7. MAINTAIN A UNIFORM GRADE BETWEEN CONTOURS IN AREAS TO BE GRADED UNLESS NOTED OTHERWISE.
8. ELEVATIONS, IF SHOWN ARE FINISHED ELEVATIONS. SPOT ELEVATIONS TAKE PRECEDENCE OVER CONTOURS.
9. ADD EROSION CONTROL MEASURES IF GRADES GREATER THAN 3:1 OR IF CONDITIONS WARRANT. REFER TO MNDOT SPECIFICATIONS FOR EROSION CONTROL.
10. CONTRACTOR SHALL CONTACT PUBLIC UTILITIES FOR LOCATION OF UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
11. CONTRACTOR SHALL PROVIDE PROPER EROSION CONTROL MEASURES AS REQUIRED TO ENSURE THAT EROSION IS KEPT TO AN ABSOLUTE MINIMUM.
12. PROVIDE TEMPORARY COVERING FOR CATCH BASINS AND MAN HOLES UNTIL FINISHED GRADING IS COMPLETE.
13. CONTRACTOR SHALL CONSTRUCT DRAINAGE BASINS AS NEEDED.
14. PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. REFER TO STATE SPECIFICATIONS FOR AGGREGATE BASE AND SILT FENCE.
15. CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES PER LOCAL POLLUTION CONTROL AGENCY AND SPECIFICATIONS.
16. WITHIN TWO WEEKS OF FINISHED SITE GRADING, DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, MULCH OR ROCK BASE.
17. CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF ACCUMULATED SILT IN FRONT OF SILT FENCES AND EXCESS SEDIMENT IN PROPOSED CATCH BASINS, FOR THE DURATION OF CONSTRUCTION.
18. CONTRACTOR SHALL REMOVE EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED AND DISPOSE OF OFF SITE.
19. CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN PLANTING AREAS.

PLANTING

1. SPRING PLANT MATERIAL INSTALLATION IS FROM APRIL 15 TO JUNE 15.
2. FALL CONIFEROUS PLANTING IS ACCEPTABLE FROM AUGUST 21 TO SEPTEMBER 30.
3. FALL DECIDUOUS PLANTING IS ACCEPTABLE FROM AUGUST 15 UNTIL NOVEMBER 15.
4. ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
5. STAKE PROPOSED PLANTING LOCATIONS PER PLAN FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALL.
6. PLANT MATERIAL SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1. UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED HEIGHT. ORNAMENTAL TREES SHALL HAVE NO 'V' CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' FEET ABOVE THE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACE.
7. INSTALL PLANT MATERIAL AFTER FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
8. INSTALL PLANT MATERIALS PER PLANTING DETAILS.
9. SUBSTITUTION REQUESTS FOR PLANT MATERIAL TYPE & SIZE SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR CONSIDERATION PRIOR TO BIDDING. SUBSTITUTIONS AFTER BIDDING MUST BE APPROVED BY LANDSCAPE ARCHITECT AND ARE SUBJECT TO CONTRACT ADJUSTMENTS.
10. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. LANDSCAPE ARCHITECT MUST BE NOTIFIED PRIOR TO ADJUSTMENT OF PLANTS.
11. FERTILIZE PLANT MATERIAL UPON INSTALLATION WITH DRIED BONE MEAL AND OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL (PER THE MANUFACTURER'S INSTRUCTIONS) OR TREAT FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 10-0-5 OF 12 OZ. PER 2.5" CALIPER TREE AND 6 OZ. PER SHRUB WITH AN ADDITIONAL APPLICATION OF 10-0-10 THE FOLLOWING SPRING IN THE TREE SAUCER.
12. INSTALL 18" DEPTH OF PLANTING SOIL IN AREAS RECEIVING GROUND COVER, PERENNIALS, AND ANNUALS. PLANTING SOIL SHALL CONSIST OF MnDOT 3877-C MODIFIED TO CONTAIN A MAXIMUM OF 30% SAND, A PH OF 7.1 MAX, OR AS OTHERWISE SPECIFIED IN THE PROJECT SPECIFICATIONS MANUAL.
13. TREE WRAPPING MATERIAL SHALL BE TWO-WALLED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO FIRST BRANCH. WRAP SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1.
14. APPLY PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL) IN ANNUAL, PERENNIAL, AND SHRUB BEDS FOLLOWED BY SHREDDED HARDWOOD MULCH. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING USE OF HERBICIDES.

MULCHING

1. INSTALL 3" DEEP SHREDDED HARDWOOD MULCH RINGS AT CONIFEROUS & DECIDUOUS TREES WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.
2. INSTALL 2" DEEP SHREDDED HARDWOOD MULCH RINGS AT SHRUB PLANTING AREAS WITH NO MULCH IN DIRECT CONTACT WITH SHRUB STEMS.
3. INSTALL 2" DEEP FINELY SHREDDED MULCH OR 1" DEEP SHREDDED HARDWOOD MULCH IN PERENNIAL PLANTING BEDS. REMOVE ALL MULCH FROM STEMS OF PERENNIALS - PLANT STEMS SHOULD NOT BE IN DIRECT CONTACT WITH MULCH.

WATERING

1. PLANTED MATERIALS SHALL BE WATERED BY TEMPORARY MEANS UNTIL PLANTS ARE ESTABLISHED.
2. TEMPORARY WATERING MEANS, METHODS, AND SCHEDULING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. REMOVE TEMPORARY WATERING EQUIPMENT UPON PLANT ESTABLISHMENT.

WARRANTY

1. WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

TURF NOTES

1. SOD AREAS DISTURBED DUE TO GRADING UNLESS NOTED OTHERWISE.
2. WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
3. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
4. UNLESS NOTED OTHERWISE, THE APPROPRIATE DATES FOR SPRING SEED & SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.
5. FALL SODDING IS ACCEPTABLE FROM AUGUST 15 TO NOVEMBER 1. FALL SEEDING IS ACCEPTABLE FROM AUGUST 15 TO SEPTEMBER 15. ADJUSTMENTS TO SOD/SEED PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

IRRIGATION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATION THAT MEETS THE REQUIREMENTS OF THE PROVIDED PERFORMANCE SPECIFICATION AS PART OF THE SCOPE OF WORK. SUBMIT LAYOUT PLAN AND SPECIFICATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER AND/OR CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT SODDED/SEEDED AND PLANTED AREAS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
2. CONTRACTOR SHALL FIELD VERIFY WATER SUPPLY, VOLUME, PRESSURE AND LOCATION FOR SYSTEM TAP PRIOR TO SYSTEM DESIGN.
3. CONTRACTOR SHALL FIELD VERIFY AND INSPECT EXISTING IRRIGATION SYSTEM LAYOUT, EQUIPMENT, CONDITION AND OPERABILITY PRIOR TO SYSTEM DESIGN.
4. CONTRACTOR SHALL CONFIRM COMPLETE LIMITS OF IRRIGATION WITH LANDSCAPE ARCHITECT PRIOR TO SUPPLYING SHOP DRAWINGS.
5. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL OF AREAS RECEIVING DRIP IRRIGATION PRIOR TO INSTALLATION OF MULCH.
6. CONTRACTOR SHALL PROVIDE THE OWNER AND LANDSCAPE ARCHITECT WITH AS-BUILT DRAWINGS, DETAILED SYSTEM OPERATION INSTRUCTIONS AND AN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND PLANTED MATERIAL GROWTH REQUIREMENTS.

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Certification

NOT FOR CONSTRUCTION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

Signature

Registration Number

Date

Project For

GRACO KOCH CENTER EXPANSION

KOCH CENTER PROPOSED EXPANSION AND RENOVATION
ROGERS, MN

Project No.	168400400
Drawn By	JH/KH
Checked By	CE
Date	09/11/18

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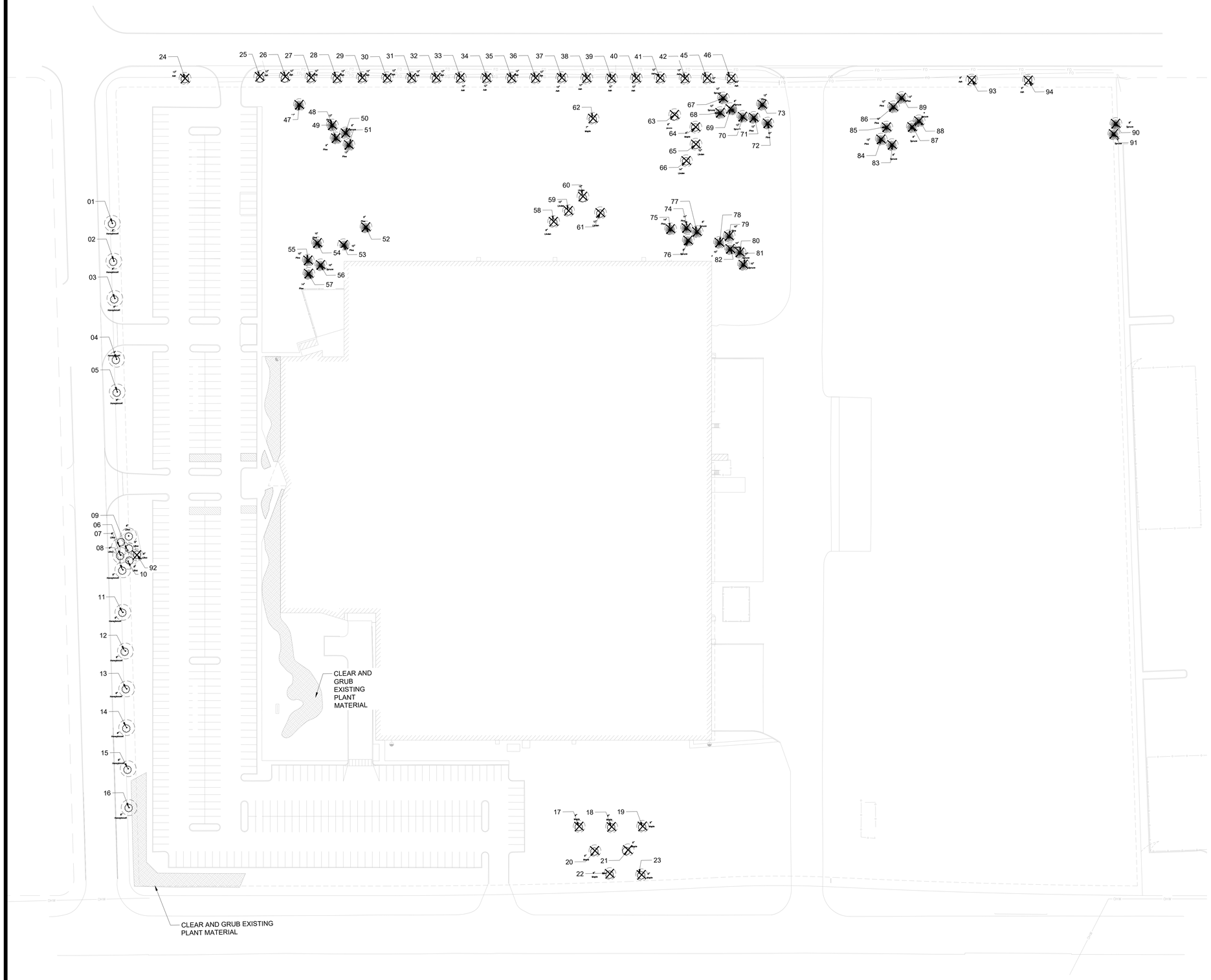
Revisions

No.	Date	Description

LANDSCAPE GENERAL NOTES

L001



TREE PRESERVATION SCHEDULE

TREES PRESERVED: 16 (SEE DETAIL 2/L500)

TREES REMOVED: 78

TREES PROPOSED: 107 (SEE LANDSCAPE PLAN)

LEGEND

1	8"	Honey Locust - Preserve
2	8"	Honey Locust - Preserve
3	8"	Honey Locust - Preserve
4	8"	Honey Locust - Preserve
5	8"	Honey Locust - Preserve
6	8"	Lilac - Preserve
7	8"	Lilac - Preserve
8	8"	Lilac - Preserve
9	8"	Lilac - Preserve
10	8"	Lilac - Preserve
11	8"	Honey Locust - Preserve
12	8"	Honey Locust - Preserve
13	8"	Honey Locust - Preserve
14	8"	Honey Locust - Preserve
15	8"	Honey Locust - Preserve
16	8"	Honey Locust - Preserve
17	9"	Maple - Demo
18	9"	Maple - Demo
19	9"	Maple - Demo
20	9"	Maple - Demo
21	9"	Maple - Demo
22	9"	Maple - Demo
23	9"	Maple - Demo
24	13"	Ash - Demo
25	12"	Ash - Demo
26	12"	Ash - Demo
27	12"	Ash - Demo
28	12"	Ash - Demo
29	12"	Ash - Demo
30	12"	Ash - Demo
31	12"	Ash - Demo
32	12"	Ash - Demo
33	12"	Ash - Demo
34	12"	Ash - Demo
35	12"	Ash - Demo
36	12"	Ash - Demo
37	12"	Ash - Demo
38	12"	Ash - Demo
39	12"	Ash - Demo
40	12"	Ash - Demo
41	12"	Ash - Demo
42	12"	Ash - Demo
43	12"	Ash - Demo
44	12"	Ash - Demo
45	12"	Ash - Demo
46	12"	Ash - Demo
47	12"	Pine - Demo
48	13"	Pine - Demo
49	9"	Pine - Demo
50	8"	Spruce - Demo
51	13"	Pine - Demo
52	9"	Pine - Demo
53	10"	Pine - Demo
54	10"	Pine - Demo
55	10"	Pine - Demo
56	10"	Spruce - Demo
57	14"	Pine - Demo
58	8"	Linden - Demo
59	10"	Linden - Demo
60	12"	Linden - Demo
61	12"	Linden - Demo
62	7"	Maple - Demo
63	8"	Maple - Demo
64	9"	Maple - Demo
65	10"	Linden - Demo
66	14"	Linden - Demo
67	12"	Spruce - Demo
68	12"	Spruce - Demo
69	8"	Spruce - Demo
70	12"	Spruce - Demo
71	12"	Pine - Demo
72	15"	Pine - Demo
73	12"	Pine - Demo
74	14"	Pine - Demo
75	14"	Pine - Demo
76	8"	Spruce - Demo
77	8"	Spruce - Demo
78	10"	Pine - Demo
79	10"	Pine - Demo
80	10"	Spruce - Demo
81	10"	Spruce - Demo
82	10"	Pine - Demo
83	8"	Spruce - Demo
84	12"	Pine - Demo
85	12"	Pine - Demo
86	12"	Pine - Demo
87	8"	Spruce - Demo
88	8"	Spruce - Demo
89	12"	Pine - Demo
90	8"	Spruce - Demo
91	8"	Spruce - Demo
92	8"	Lillac - Demo
93	9"	Ash - Demo
94	9"	Ash - Demo

CONTACT LANDSCAPE ARCHITECT REGARDING ANY DISCREPANCIES IN THE PLAN PRIOR TO TREE REMOVAL

0 50 100 150
SCALE: 1" = 50'

NORTH

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DAMON FARBER LANDSCAPE ARCHITECTS

401 2nd Avenue North, Suite 410
Minneapolis, MN 55401
p 612.332.7522

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Signature

Registration Number

Date

Project For

GRACO KOCH CENTER EXPANSION

KOCH CENTER PROPOSED EXPANSION AND RENOVATION
ROGERS, MN

Project No.	168400400
Drawn By	JH/KH
Checked By	CE
Date	09/11/18

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Revisions

No.	Date	Description

TREE REMOVAL PLAN

L003

CONCEPT PLANT SCHEDULE

BOULEVARD TREES	28	
PLATANUS X ACERIFOLIA / LONDON PLANE TREE		4" CAL.
QUERCUS BICOLOR / SWAMP WHITE OAK		4" CAL.
QUERCUS MACROCARPA `URBAN PINNACLE` / URBAN PINNACLE OAK		4" CAL.
COLUMNAR TREES	45	
QUERCUS X WAREI `NADLER` / KINDRED SPIRIT OAK		4" CAL.
COLUMNAR TREE SMALL	7	
QUERCUS X WAREI `NADLER` / KINDRED SPIRIT OAK		3" CAL.
EVERGREEN TREES	16	
PICEA GLAUCA `DENSATA` / BLACK HILLS SPRUCE		8` HEIGHT
PINUS NIGRA / AUSTRIAN BLACK PINE		12` HEIGHT
PINUS RESINOSA / RED PINE		12` HEIGHT
MULTI TRUNK TREES	11	
BETULA NIGRA / RIVER BIRCH MULTI-TRUNK		2.5" CAL.
BETULA POPULIFOLIA `WHITESPIRE` / WHITESPIRE BIRCH		2.5" CAL.
EXISTING TREE	16	
-		
EVERGREEN MASSING SHRUBS	514	
ALL SEASON INTEREST		
JUNIPERUS HORIZONTALIS `BLUE CHIP` / BLUE CHIP JUNIPER		#10
THUJA OCCIDENTALIS `BOBAZAM` / MR. BOWLING BALL™ ARBORVITAE		#10
FLOWERING PERENNIALS	1,959	
SPRING THROUGH FALL COLOR		
ASTILBE X X `VISIONS IN WHITE` / VISIONS IN WHITE ASTILBE		#1
ECHINACEA PURPUREA / PURPLE CONEFLOWER		#1
LIATRIS SPICATA `ALBA` / SPIKE BLAZING-STAR		#1
NEPETA X FAASSENII `WALKERS LOW` / WALKERS LOW CATMINT		#1
PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE		#1
ORNAMENTAL GRASSES	1,811	
ALL SEASON INTEREST		
CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER` / FEATHER REED GRASS		#1
MISCANTHUS SINENSIS `PURPURESCENS` / FLAME GRASS		#1
SALT TOLERANT SHRUBS	900	
LOW GROWING, LOW MAINTENANCE		
DIERVILLA LONICERA / DWARF BUSH HONEYSUCKLE		#5
RHUS AROMATICA `GRO-LOW` / GRO-LOW FRAGRANT SUMAC		#5

MATERIALS SCHEDULE

SYMBOL	BOLLARD DESCRIPTION	DETAIL
BO-01	BOLLARD TYPE 1	

SYMBOL	EDGING DESCRIPTION	DETAIL
ED-01	EDGING TYPE 1	

SYMBOL	MINERAL MULCH DESCRIPTION	DETAIL
MM-01	TRAP ROCK	6/L500
MM-02	RIP RAP	

SYMBOL	PAVING DESCRIPTION	DETAIL
P-01	DECORATIVE CONCRETE	
P-02	PEDESTRIAN PAVERS	
P-03	PEDESTRIAN CONCRETE	
P-04	SLATE FLAGSTONE	7/L500

0 50 100 150

SCALE: 1" = 50'

NORTH

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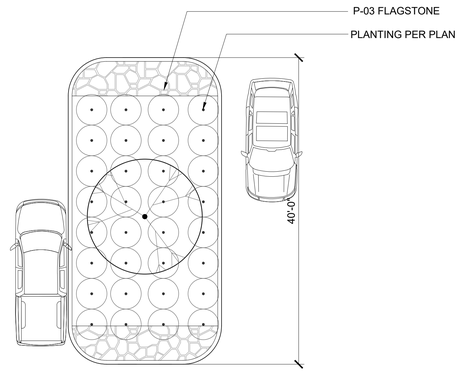
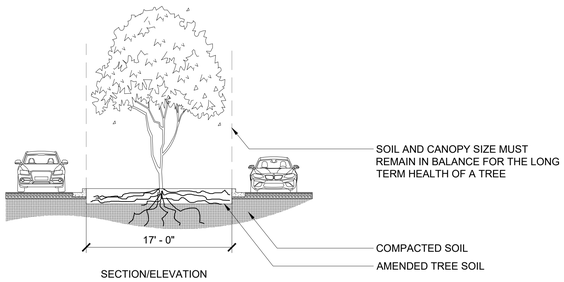
Revisions

No.	Date	Description

LANDSCAPE SCHEDULES

L010



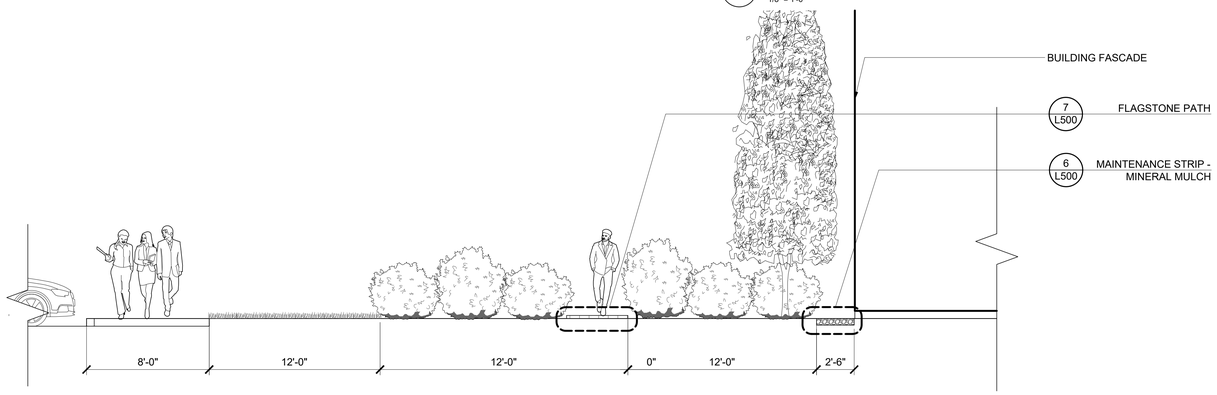


SECTION/ELEVATION

2 DETAIL - PARKING ISLANDS

1/8" = 1'-0"

P-17.265-22



1 SECTION - FRONT YARD

1/4" = 1'-0"

P-17.265-09

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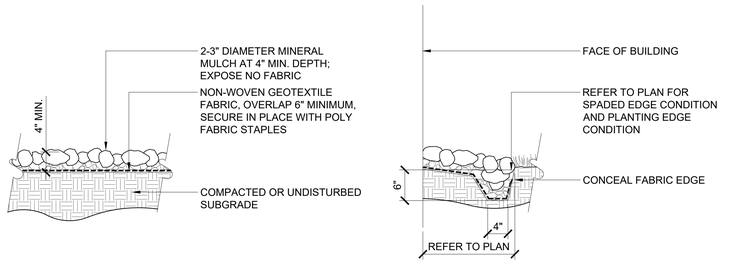
Revisions

No.	Date	Description

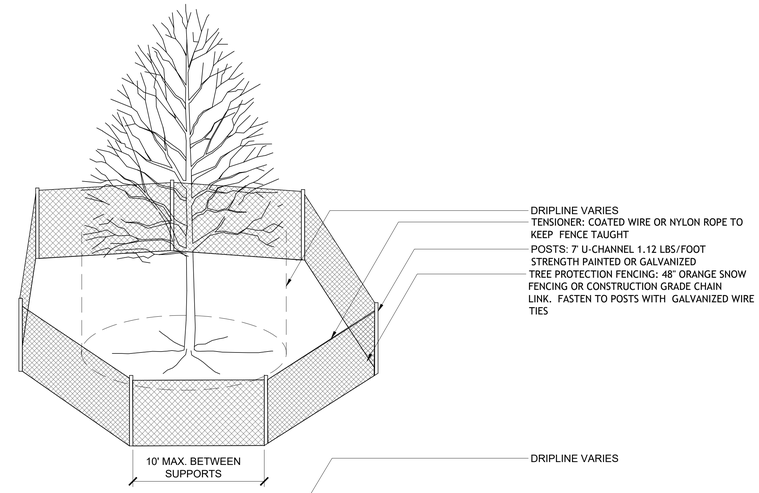
LANDSCAPE SITE SECTIONS

L-300



6 MAINTENANCE STRIP - MINERAL MULCH

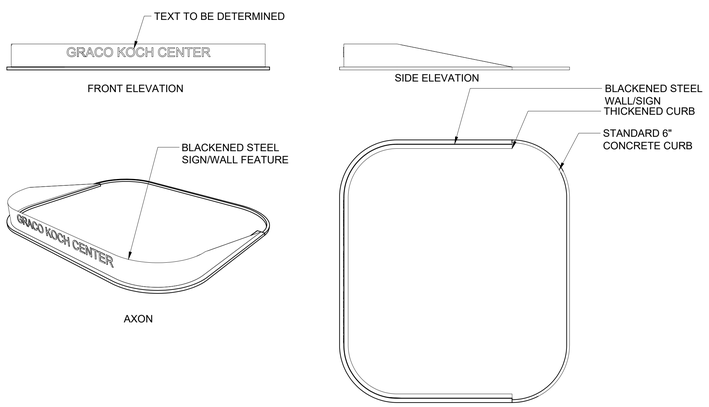
1" = 1'-0" P-17.265-13



NOTES:
1) TREE PROTECTION FENCING SHALL BE INSTALLED ACCORDING TO THE PLANS PRIOR TO DEMOLITION. AFTER DEMOLITION OR AS NECESSARY, TREE PROTECTION FENCING MAY BE RELOCATED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT. TREE PROTECTION FENCING SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD
2) CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR PARK VEHICLES IN TREE PROTECTION ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.
3) PLACE 4" DEPTH ORGANIC WOOD MULCH WITHIN TREE PROTECTION FENCING FOR MOISTURE PRESERVATION
4) PLACE TREE PROTECTION WITHIN DRIPLINE WHEN FULL DRIPLINE PROTECTION IS NOT FEASIBLE DUE TO EXISTING PAVEMENT OR OTHER OBSTACLES.

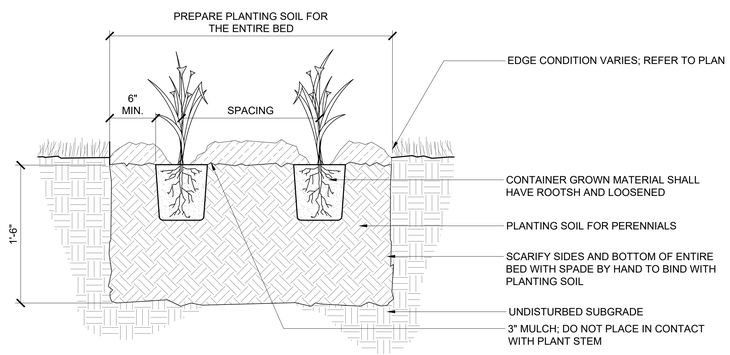
2 TREE PROTECTION DETAIL

1 1/2" = 1'-0" P-17.265-18



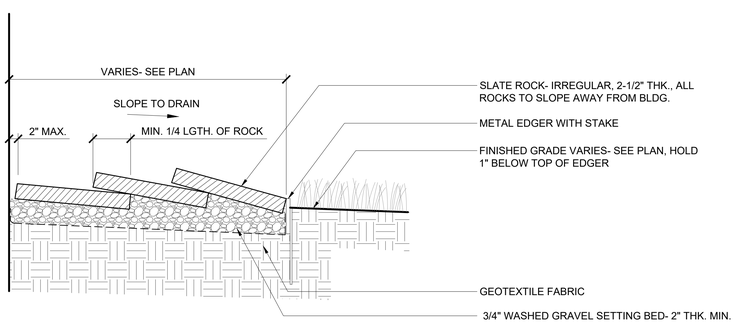
9 DETAIL - ENTRY MARKER

3/32" = 1'-0" P-17.265-21



5 PERENNIAL PLANTING

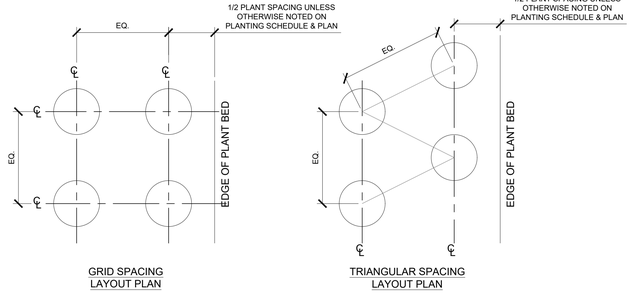
1 1/2" = 1'-0" P-17.265-17



8 FLAGSTONE PLANTERS

1 1/2" = 1'-0" P-17.265-20

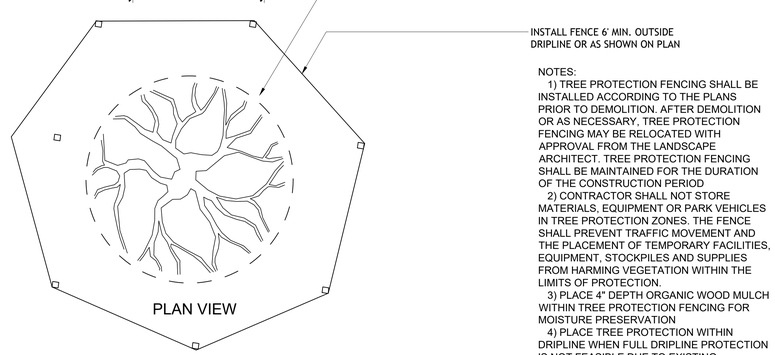
1/2 PLANT SPACING UNLESS OTHERWISE NOTED ON PLANTING SCHEDULE & PLAN



NOTE: REFER TO PLANTING SCHEDULE PLANT SPACING.

4 PLANT SPACING

3/4" = 1'-0" P-17.265-16



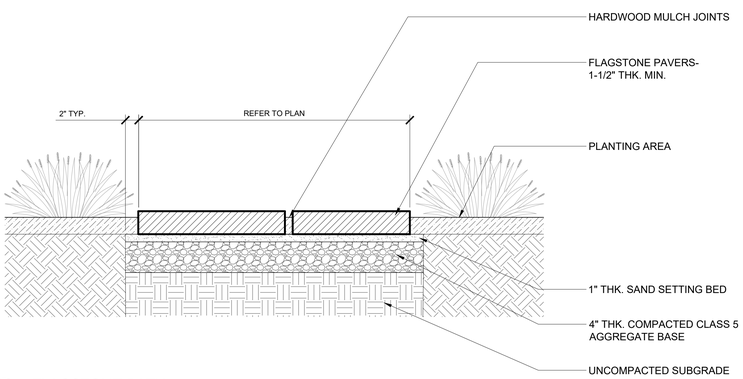
NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE WARRANTY PERIOD. WRAP TREE TRUNKS ONLY UPON APPROVAL BY LANDSCAPE ARCHITECT. SEE SPECIFICATION SECTION RELATED TO PLANTS AND SOIL PREPARATION.

EACH TREE SHALL BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. IF THE ROOT FLARE IS NOT VISIBLE, THE SOIL SHALL BE REMOVED IN A LEVEL MANNER FROM THE ROOT BALL TO WHERE THE FIRST MAIN ORDER ROOT (¼" DIA. OR LARGER) EMERGES FROM THE TRUNK. SET MAIN ORDER ROOT 1" HIGHER THAN ADJACENT GRADE. DO NOT COVER TOP OF ROOT BALL WITH SOIL.

PROVIDE & INSTALL RODENT PROTECTION ½" HARDWIRE CLOTH MESH CYLINDER, 8" DIA. OR GREATER X 36" HGT; STAKE IN PLACE. PER SPEC

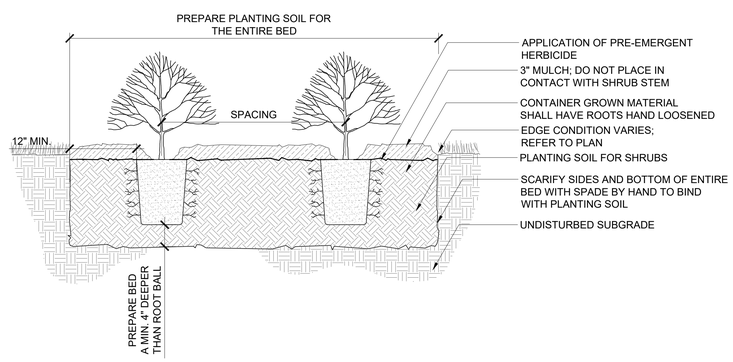
1 TREE PLANTING

3/4" = 1'-0" P-17.265-14



7 FLAGSTONE PATH

1 1/2" = 1'-0" P-17.265-19



3 SHRUB PLANTING

1" = 1'-0" P-17.265-15

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ROGERS, MN

Project No.	168400400
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Revisions

No.	Date	Description

LANDSCAPE DETAILS

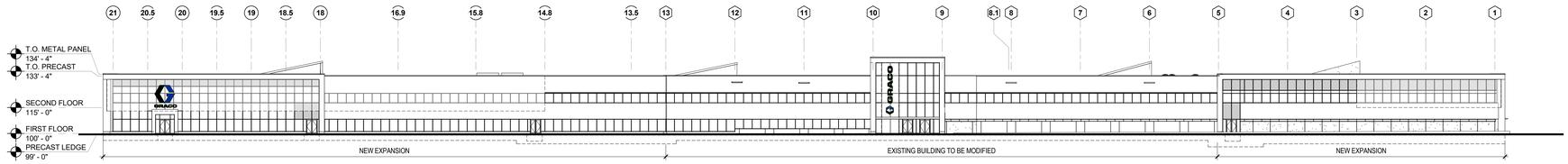
L500

EXTERIOR ELEVATION GENERAL NOTES:

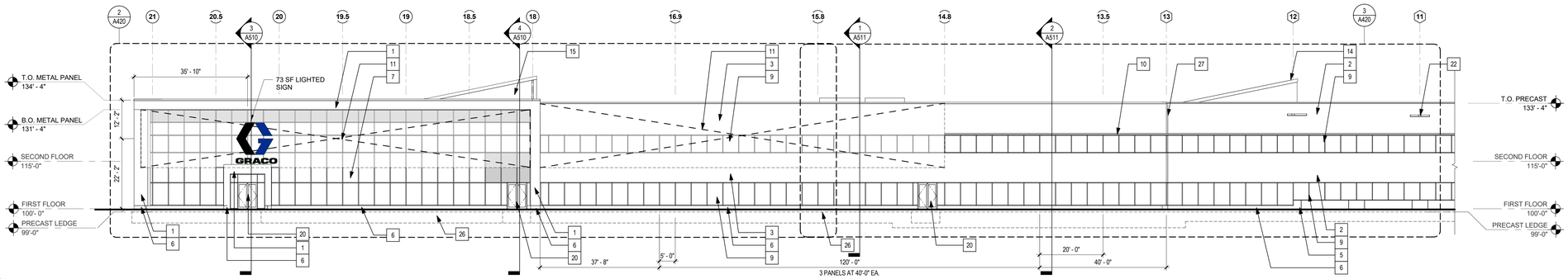
1. SEE SHEET A500 FOR PRECAST PANEL TYPES.
2. ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES TO BE CENTERED IN PANELS OR LOCATED AT PANEL JOINT AS SHOWN UNLESS NOTED OTHERWISE.

KEYNOTES - EXTERIOR ELEVATION

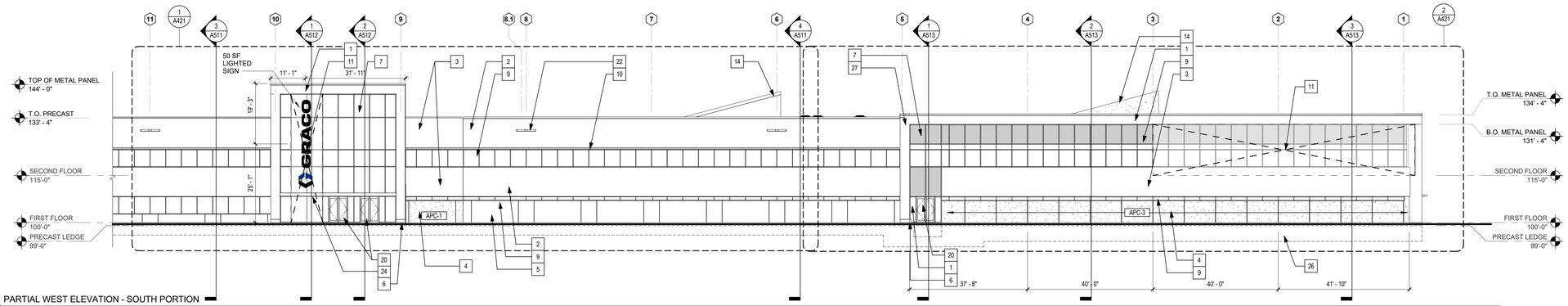
NO.	DESCRIPTION
1	METAL PANEL WALL SYSTEM WITH STEEL STUD FRAMING
2	METAL PANELS OVER EXISTING PRECAST CONCRETE PANEL WALL SYSTEM
3	METAL PANELS OVER NEW PRECAST CONCRETE PANEL WALL SYSTEM
4	PRECAST CONCRETE PANEL BASE
5	EXISTING PRECAST CONCRETE PANEL BASE
6	CAST STONE BASE
7	ALUMINUM CURTAINWALL SYSTEM WITH INSULATED GLASS- SHADED AREAS INDICATE SPANDREL GLASS
8	ALUMINUM CURTAINWALL SYSTEM WITH METAL PANEL INSERTS
9	ALUMINUM WINDOW SYSTEM WITH INSULATED GLASS - SHADED AREAS INDICATE SPANDREL GLASS
10	ALUMINUM SUNSHADE SYSTEM
11	DASHED LINES INDICATE PERFORATED METAL SCRIM PANELS NOT SHOWN FOR CLARITY
12	EXISTING RIBBED INSULATED PRECAST CONCRETE WALL PANELS
13	RIBBED INSULATED PRECAST CONCRETE WALL PANELS
14	EXISTING SKYLIGHTS TO REMAIN
15	CLERESTORY SKYLIGHTS
16	EXISTING HOLLOW METAL DOOR AND FRAME
17	HOLLOW METAL DOOR AND FRAME
18	OVERHEAD DOOR
19	DOCK LEVELER AND PADS
20	ALUMINUM ENTRANCE SYSTEM
22	EXISTING THRU-WALL SCUPPER - WITH EXTENSION THROUGH NEW METAL PANEL SYSTEM
23	THRU-WALL SCUPPER
24	METAL PANEL CANOPY
25	STEEL STAIR AND LANDING
26	POURED CONCRETE FOUNDATION WALL
27	BUILDING EXPANSION JOINT SYSTEM
28	ELEVATOR DOOR AND FRAME
29	DASHED LINES INDICATE EXPLOSION BLOW-OUT PANELS WITH CABLE TEATHERING SYSTEM



1 WEST ELEVATION
1/32" = 1'-0"



2 PARTIAL WEST ELEVATION - NORTH PORTION
1/16" = 1'-0"



3 PARTIAL WEST ELEVATION - SOUTH PORTION
1/16" = 1'-0"

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Name

License Number

Date Signed

Project For

GRACO KOCH CENTER
ROGERS, MN

EXPANSION AND RENOVATION

Project No.	1684.004.00
Drawn By	RP
Checked By	MB
Date	9/28/2018

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Sheet Issues / Revisions

No.	Date	Description

EXTERIOR ELEVATIONS- WEST

A401

EXTERIOR ELEVATION GENERAL NOTES:

1. SEE SHEET A500 FOR PRECAST PANEL TYPES.
2. ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES TO BE CENTERED IN PANELS OR LOCATED AT PANEL JOINT AS SHOWN UNLESS NOTED OTHERWISE.

KEYNOTES - EXTERIOR ELEVATION

NO.	DESCRIPTION
1	METAL PANEL WALL SYSTEM WITH STEEL STUD FRAMING
2	METAL PANELS OVER EXISTING PRECAST CONCRETE PANEL WALL SYSTEM
3	METAL PANELS OVER NEW PRECAST CONCRETE PANEL WALL SYSTEM
4	PRECAST CONCRETE PANEL BASE
5	EXISTING PRECAST CONCRETE PANEL BASE
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13	RIBBED INSULATED PRECAST CONCRETE WALL PANELS
14	EXISTING SKYLIGHTS TO REMAIN
15	CLERESTORY SKYLIGHTS
16	EXISTING HOLLOW METAL DOOR AND FRAME
17	HOLLOW METAL DOOR AND FRAME
18	OVERHEAD DOOR
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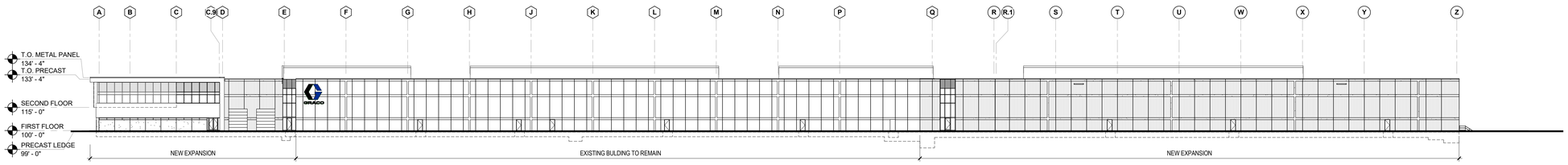
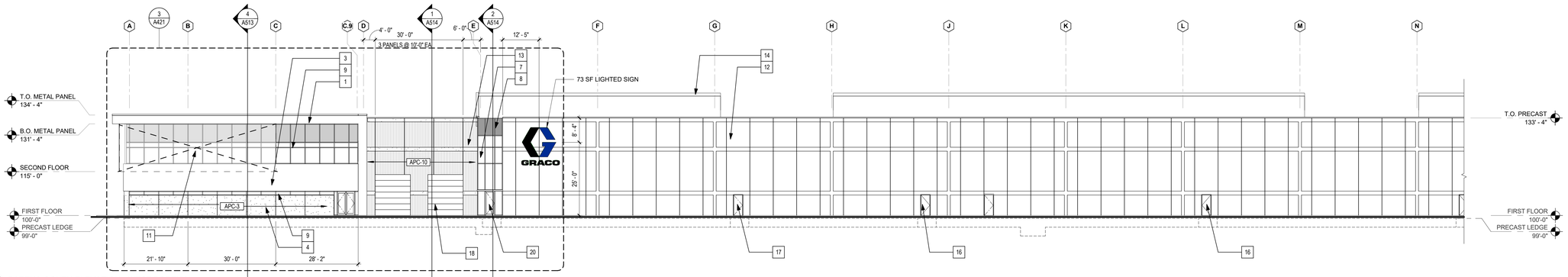
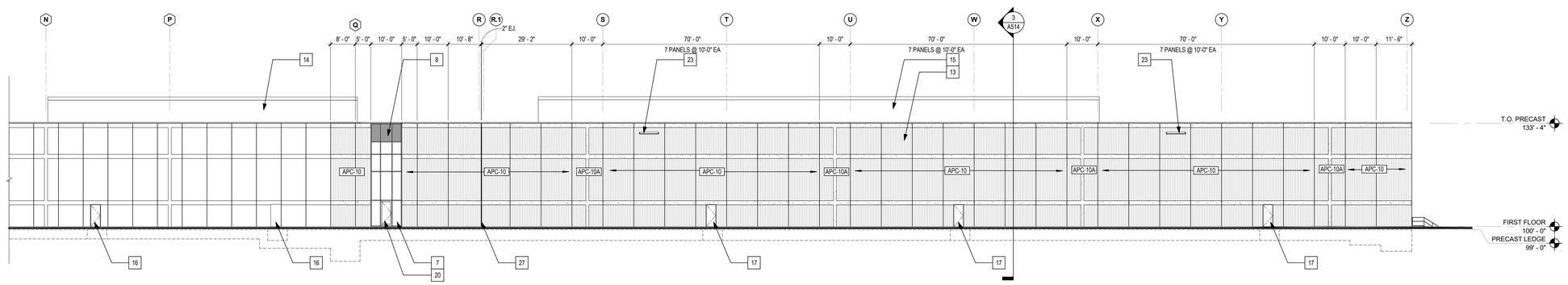


1 SOUTH ELEVATION
1/32" = 1'-0"



2 PARTIAL SOUTH ELEVATION - WEST PORTION
1/16" = 1'-0"



3 PARTIAL SOUTH ELEVATION - EAST PORTION
1/16" = 1'-0"

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EXPANSION AND RENOVATION

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Sheet Issues / Revisions

No.	Date	Description

EXTERIOR ELEVATIONS- SOUTH

A402

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EXTERIOR ELEVATION GENERAL NOTES:

1. SEE SHEET A500 FOR PRECAST PANEL TYPES.
2. ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES TO BE CENTERED IN PANELS OR LOCATED AT PANEL JOINT AS SHOWN UNLESS NOTED OTHERWISE.

KEYNOTES - EXTERIOR ELEVATION

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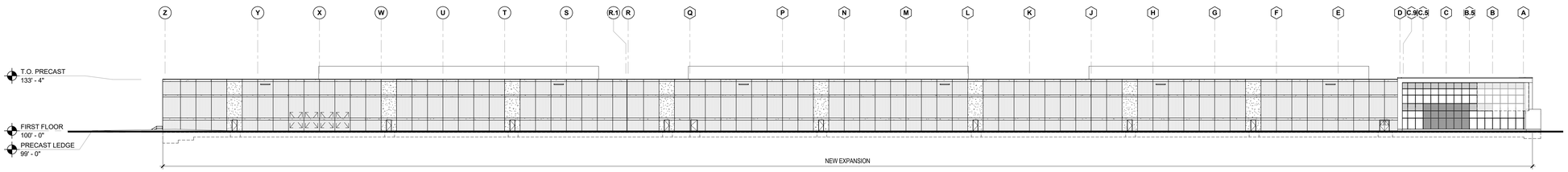
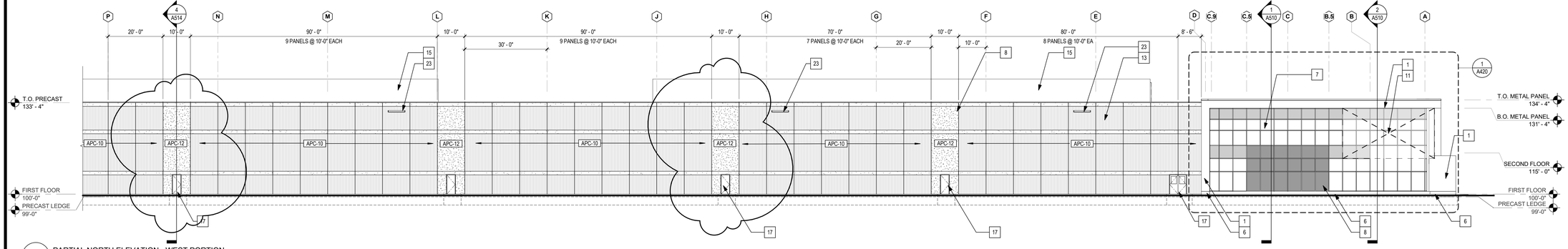
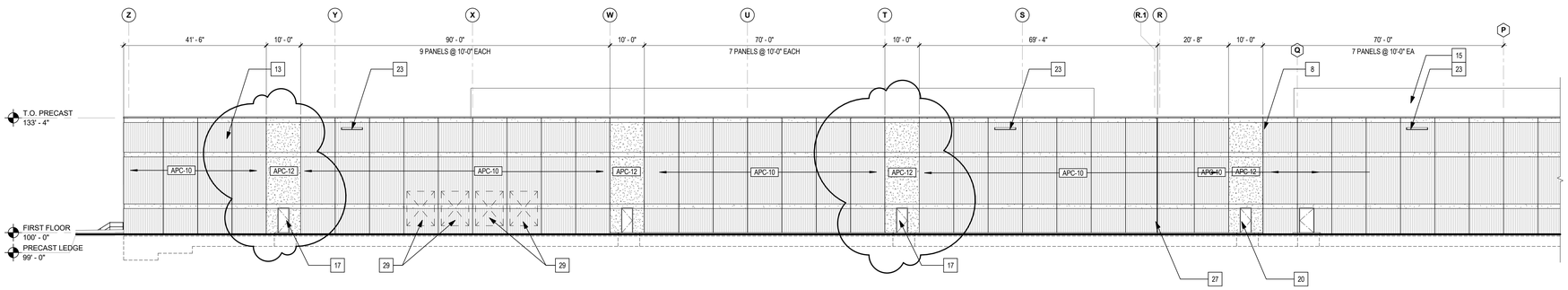
9	ALUMINUM WINDOW SYSTEM WITH INSULATED GLASS - SHADED AREAS INDICATE SPANDREL GLASS
10	ALUMINUM SUNSHADE SYSTEM
11	DASHED LINES INDICATE PERFORATED METAL SCRIM PANELS NOT SHOWN FOR CLARITY
12	EXISTING RIBBED INSULATED PRECAST CONCRETE WALL PANELS
13	RIBBED INSULATED PRECAST CONCRETE WALL PANELS
14	EXISTING SKYLIGHTS TO REMAIN
15	CLERESTORY SKYLIGHTS
16	EXISTING HOLLOW METAL DOOR AND FRAME
17	HOLLOW METAL DOOR AND FRAME
18	OVERHEAD DOOR
19	DOCK LEVELER AND PADS
20	ALUMINUM ENTRANCE SYSTEM
22	EXISTING THRU-WALL SCUPPER - WITH EXTENSION THROUGH NEW METAL PANEL SYSTEM
23	THRU-WALL SCUPPER
24	METAL PANEL CANOPY
25	STEEL STAIR AND LANDING
26	POURED CONCRETE FOUNDATION WALL
27	BUILDING EXPANSION JOINT SYSTEM
28	ELEVATOR DOOR AND FRAME
29	DASHED LINES INDICATE EXPLOSION BLOW-OUT PANELS WITH CABLE TEATHERING SYSTEM



1 NORTH ELEVATION
1/32" = 1'-0"



2 PARTIAL NORTH ELEVATION - WEST PORTION
1/16" = 1'-0"



3 PARTIAL NORTH ELEVATION - EAST PORTION
1/16" = 1'-0"

RSP Architects
1220 Marshall Street NE
Minneapolis
Minnesota 55413-1036
612.677.7100
612.677.7499 fax
www.rsparch.com

Consultants

Certification

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota.

Name

License Number

Date Signed

Project For

GRACO KOCH CENTER
ROGERS, MN

EXPANSION AND RENOVATION

Project No.	1684.004.00
Drawn By	RP
Checked By	MB
Date	9/28/2018

NOTICE: The designs shown and described herein including all technical drawings, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of RSP Architects. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this Notice.

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Sheet Issues / Revisions

No.	Date	Description
1	Date 2	Revision 2

EXTERIOR ELEVATIONS- NORTH

A404

C:\Revit Projects\A17- Koch_Center_RPomerleau.rvt
10/16/2018 11:48:52 AM

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 7.2

Subject: Items Relating to a Request from I-State Rogers, LLC:

Prepared By: Jason Ziemer, City Planner / Community Development Coordinat

---

Recommended City Council Action

Motion to approve the following:

- Resolution No. 2018-92, approving the Preliminary and Final Plat for Interstate of Rogers Addition.
- Ordinance No. 2018-08, approving the Rezoning of PID 25-120-23-21-0009 from Special Industry (S-I) to Limited Industry (L-I) and Summary Ordinance No. 2018-08.

Overview / Background

On June 12, 2018, the City Council approved a land division request from GRT Properties, LLC, on behalf of Interstate Companies (Company), to create a new 10-acre parcel (Subject Property) on land adjacent (east) to Marine Max on County Road 81. The Company is proposing to develop a 50,000 square foot (semi) truck sales and maintenance facility on the Subject Property. The land division created the Subject Property and a remnant 19.7-acre parcel still owned by the Vevea Family Limited Partnership (Family). However, the entire 29.7-acre site is currently still owned by the Family.

Although the Parcel is undeveloped, there is an advertising billboard on the northeast corner of the Subject Property. That has prevented the closing of the property to occur. An agreement between the City and Family conditions removal of the billboard upon a series of factors, notably development of the land. On September 25, the City Council approved an amendment to that agreement which would remove the development condition and allow the billboard to remain on the Subject Property until the date in the agreement (January 2027).

On October 16, 2018, the Planning Commission reviewed applications for Preliminary Plat and Rezoning. A public hearing was conducted to consider those items; no verbal or written public comment was received. The Commission recommended approval of all applications with no conditions.

The 60-day statutory review period expires on November 25, 2018.

Approval of the Plats and Rezoning requests, along with the executed aforementioned agreement, should enable the Company to close and take ownership of the Subject Property. The Company will then submit its Site Plans and other required land use applications for development purposes.

Primary Issues to Consider

1. Land Use & Zoning
2. Preliminary & Final Plats

Analysis of Primary Issues

1. Land Use & Zoning

The 10-acre site (Subject Property) and remaining 19.7-acre parcel (Remnant Property) are currently guided as **Industrial**, per the Rogers 2030 Comprehensive Plan, which defines it as follows: *Industrial uses include manufacturing, assembly, processing, warehousing and distribution uses. Industrial districts should be located to take advantage of good access to the regional roadway system with limited traffic circulation through residential and pedestrian-oriented areas.* Although not yet finalized, the proposed land use plan for the 2040 Comprehensive Plan does not change the Industrial designation for either.

The corresponding zoning for the property both Properties are **Special Industrial (S-I)**. City Code Section §125-200 establishes *Permitted, Accessory and Conditional Uses* for properties zoned S-I. Permitted uses in this zoning district are: *agricultural land uses; essential services (telephone, telecommunications and power distribution, etc.); golf courses; nurseries; public recreation; wastewater treatment plants; water treatment plants; and water towers.* Conditional uses include: *advertising devices (billboards); local government buildings; seasonal produce stands; and wind energy conversion systems.*

Thus, the proposed end use of the Subject Property requires zoning change from S-I to **Limited Industry (L-I)** which specifically allows for auto and truck repair shops; open sales lots are allowed as a conditional use. The Company is requesting a change of zoning from S-I to L-I for the Subject Property only; the Remnant Property will remain zoned S-I.

Although reviewed at the time of the initial land division, City staff did verify *Performance Standards* for minimum lot area regulations. Per City Code Section §125-199(e)(1), property zoned as L-I and serviced by City sewer and water must be a minimum of 20,000 square feet. The Subject Property satisfies this standard as it will be 435,600 square feet (10.00 acres).

The property does fall within the **Highway Corridor Overlay District** *Industrial Subdistrict*, as established by City Code Section §125-225. This Overlay District establishes development standards emphasizing greater sensitivity to the environment and higher quality architectural and site design. Area requirements for this Overlay District are a minimum five (5) acre lot size and 330 foot width, unless under a Planned Unit Development. Total compliance with Overlay District standards shall be reviewed for compliance at the time of Site Plan application.

Land Use conditions are satisfied. Zoning conditions shall be satisfied upon approval of Rezoning the Subject Property from Special Industrial (S-I) to Limited Industry (L-I).

2. <u>Preliminary & Final Plats</u>

As previously discussed, the City Council approved the creation of the 10-acre parcel back in June 2018. The County has since assigned a PID of 25-120-23-21-0009. The 10-acre parcel shall be platted as Interstate of Rogers with a legal description of Lot 1, Block 1, Interstate of Rogers Addition. According to the Preliminary Plat, access to the property will be located on the southeast corner and use a portion of the Remnant Property. The Company and Family have, or will have, a private cross access easement for ingress/egress purposes. The location of that driveway has been reviewed and agreed to by Hennepin County. All required revisions to the Preliminary and Final Plats and required documentation, necessary to meet City requirements for platting, have been provided by the Company. The Company is providing drainage and utility easements (D/UE) as required; none of the existing D/UEs are to be vacated as a part of this application and resulting action.

Platting conditions are satisfied.

Planning Commission action is to review and recommend approval/denial of the Preliminary Plat; the City Council reviews and approves Final Plats.

Staff Recommendation

City staff recommends approval of the following:

- Resolution No. 2018-95, approving the Preliminary and Final Plat for Interstate of Rogers Addition.
- Ordinance No. 2018-08, approving the Rezoning of PID 25-120-23-21-0009 from Special Industry (S-I) to Limited Industry (L-I) and authorize the publication of Summary Ordinance No. 2018-08.

ATTACHMENTS:

Description

Resolution No. 2018-95 Interstate Co. Prel & Final Plat

Ordinance No. 2018-08 Rezoning Interstate of Rogers_10-23-2018

Summary Ordinance No. 2018-08

Preliminary & Final Plat_Interstate of Rogers_10-10-2018

RESOLUTION NO. 2018 - 95

A RESOLUTION GRANTING APPROVAL OF THE PRELIMINARY AND FINAL PLAT FOR INTERSTATE OF ROGERS

WHEREAS, I-State Rogers, LLC ("Applicant") submitted an application to the City of Rogers ("City") requesting approval of a Preliminary Plat and Final Plat for Interstate of Rogers ("Plat"); and,

WHEREAS, the Plat shall create one new parcel, PID 25-120-23-21-0009, totaling 10.00 acres ("Subject Property"), to be legally described as Lot 1, Block 1, Interstate of Rogers; and,

WHEREAS, per Resolution No. 2018-41, the City Council ("Council") approved an administrative lot split request from GRT Properties, LLC, on behalf of Interstate Companies, for the division of land of a vacant parcel, PID 25-120-23-21-0004, totaling 29.70 acres; and

WHEREAS, the division of land created the Subject Property specific to this Plat request and a second, remnant parcel, totaling 19.70 acres; and

WHEREAS, the Council approved a request from the Applicant, per Ordinance No. 2018-08, rezoning the property from Special Industry (S-I) to Limited Industry (L-I); and

WHEREAS, the proposed Plat is consistent with 2030 Comprehensive Plan and current zoning regulations for the City; and

WHEREAS, on October 16, 2018 the Planning Commission ("Commission") conducted a public hearing to receive public comment on the proposed Plat; and

WHEREAS, no public comment was received related to the Plat application, and the Commission recommended to the City Council approval of the Plat as presented.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, that the Preliminary Plat for Interstate of Rogers is hereby approved.

BE IT FURTHER RESOLVED, the Final Plat for Interstate of Rogers is hereby approved subject to the following conditions:

1. The Applicant shall submit and receive approvals for Zoning & Land Use Applications necessary for the proposed development planned for the Subject Property prior to seeking application for building permits.
2. The Final Plat must be recorded with Hennepin County within six (6) months of approval.
3. The Applicant shall pay all City platting fees prior to recording of the Final Plat.
4. Upon approval of development plans, the City and Applicant shall execute and record a Development Agreement identifying the terms and conditions of the development and financial security obligations of the Applicant.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23rd day of October, 2018.

_____
Rick Ihli, Mayor

ATTEST:

_____
Stacy Scharber, City Clerk

EXHIBIT A

LEGAL DESCRIPTION

Lot 1, Block 1, Interstate of Rogers

(PID #25-120-23-21-0004)

ORDINANCE NO. 2018 - 08

AN ORDINANCE AMENDING THE ZONING MAP OF THE CITY OF ROGERS REZONING THE SUBJECT PROPERTY FROM SPECIAL INDUSTRY (S-I) TO LIMITED INDUSTRY (L-I)

The City Council hereby ordains as follows

Section 1. Zoning Map Amendment

The official zoning map of the City of Rogers is hereby amended as follows:

The Subject Property legally described in Exhibit A is hereby rezoned from Special Industry (S-I) to Limited Industry (L-I).

Section 2. Effective

The City Clerk is directed to mark the official zoning map consistent with this ordinance. This ordinance shall have full force effect upon its passage and publication.

Passed by the City Council of the City of Rogers, Hennepin County, Minnesota, this 23rd day of October, 2018.

_____
Rick Ihli, Mayor

ATTEST:

_____
Stacy Scharber, City Clerk

EXHIBIT A

SUBJECT PROPERTY
LEGAL DESCRIPTION

Block 1, Lot 1, Interstate of Rogers

SUMMARY OF ORDINANCE NO. 2018 – 08

AN ORDINANCE AMENDING THE ZONING MAP OF THE CITY OF ROGERS BY REZONING THE SUBJECT PROPERTY FROM SPECIAL INDUSTRY (S-I) TO LIMITED INDUSTRY (L-I)

On the 23rd day of October, 2018 the Rogers City Council passed Ordinance No. 2018-08, An Ordinance Amending the Zoning Map of the City of Rogers by Rezoning the Subject Property from Special Industry (S-I) to Limited Industry (L-I).

The full text of the Ordinance may be reviewed at City Hall, located at 22350 South Diamond Lake Road, Rogers, MN 55374. The ordinance can also be viewed online at our website http://cityofrogers.org.

Dated: October 23, 2018

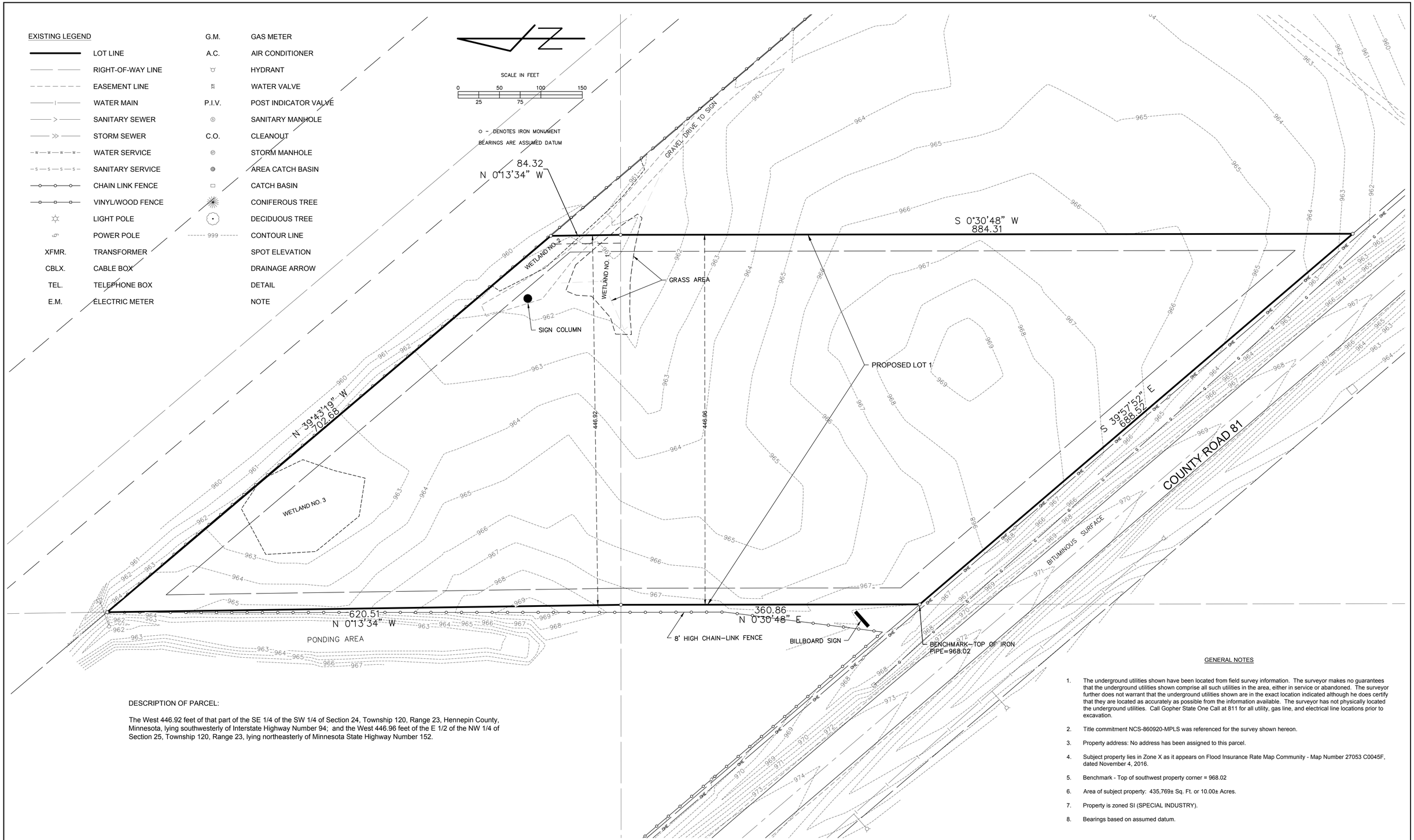
_____
Rick Ihli, Mayor

ATTEST:

_____
Stacy Scharber, Asst. City Admin./City Clerk

EXISTING LEGEND

	LOT LINE	G.M.	GAS METER
	RIGHT-OF-WAY LINE	A.C.	AIR CONDITIONER
	EASEMENT LINE		HYDRANT
	WATER MAIN		WATER VALVE
	SANITARY SEWER	P.I.V.	POST INDICATOR VALVE
	STORM SEWER		SANITARY MANHOLE
	WATER SERVICE	C.O.	CLEANOUT
	SANITARY SERVICE		STORM MANHOLE
	CHAIN LINK FENCE		AREA CATCH BASIN
	VINYL/WOOD FENCE		CATCH BASIN
	LIGHT POLE		CONIFEROUS TREE
	POWER POLE		DECIDUOUS TREE
XFMR.	TRANSFORMER	999	CONTOUR LINE
CBLX.	CABLE BOX		SPOT ELEVATION
TEL.	TELEPHONE BOX		DRAINAGE ARROW
E.M.	ELECTRIC METER		DETAIL
			NOTE



DESCRIPTION OF PARCEL:

The West 446.92 feet of that part of the SE 1/4 of the SW 1/4 of Section 24, Township 120, Range 23, Hennepin County, Minnesota, lying southwesterly of Interstate Highway Number 94; and the West 446.96 feet of the E 1/2 of the NW 1/4 of Section 25, Township 120, Range 23, lying northeasterly of Minnesota State Highway Number 152.

GENERAL NOTES

1. The underground utilities shown have been located from field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities. Call Gopher State One Call at 811 for all utility, gas line, and electrical line locations prior to excavation.
2. Title commitment NCS-860920-MPLS was referenced for the survey shown hereon.
3. Property address: No address has been assigned to this parcel.
4. Subject property lies in Zone X as it appears on Flood Insurance Rate Map Community - Map Number 27053 C0045F, dated November 4, 2016.
5. Benchmark - Top of southwest property corner = 968.02
6. Area of subject property: 435,769± Sq. Ft. or 10.00± Acres.
7. Property is zoned SI (SPECIAL INDUSTRY).
8. Bearings based on assumed datum.

REVISIONS			
		PROJ. NO:	217178
		DRAWN:	RTS
		CHECKED:	GDJ
		SCALE:	AS SHOWN
		FIELD BOOK:	A
		DATE:	1-3-18

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer and Land Surveyor under the laws of the State of Minnesota.

Signature: Grant D. Jacobson License No: 23189

Print Name: GRANT D. JACOBSON Date: 10/10/18

JACOBSON
ENGINEERS & SURVEYORS

jacobson@engrsurv.com (952) 469-4328
21029 HERON WAY LAKEVILLE, MN 55044
FAX (952) 469-4624

PREPARED FOR:

Kiehm Construction, Inc.
8415 220th Street West
Lakeville, MN 55044
952-469-5600

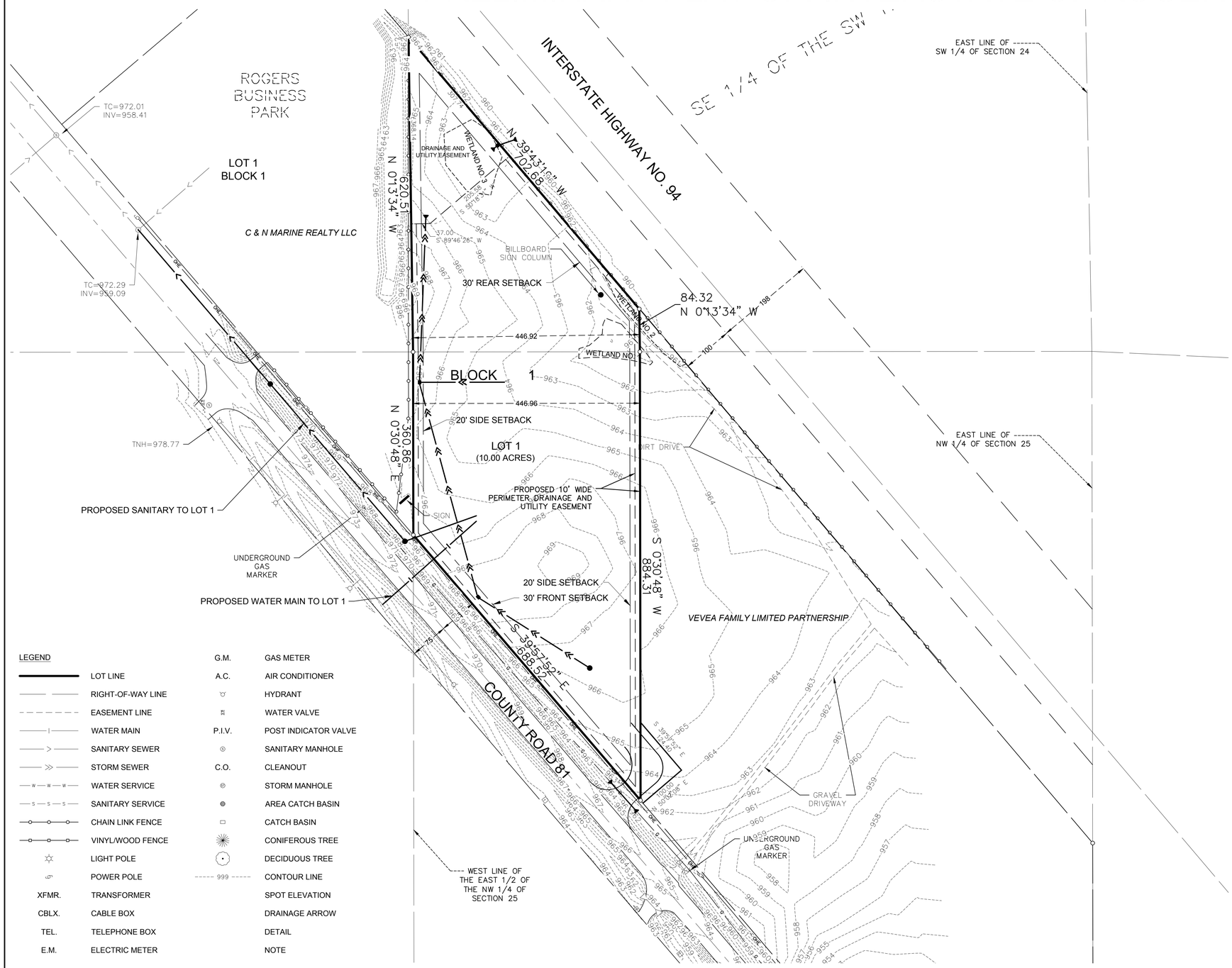
CERTIFICATE OF SURVEY AND TOPOGRAPHIC SURVEY

INTERSTATE POWER SYSTEMS
ROGERS, MN

SHEET NO.
C-1
3

Oct. 10, 18
217178

PRELIMINARY PLAT OF: INTERSTATE OF ROGERS



SCALE IN FEET

0 100 200 300

50 150

○ - DENOTES IRON MONUMENT

BEARINGS ARE ASSUMED DATUM

PROPERTY DESCRIPTION AND SITE DATA

1. The underground utilities shown have been located from field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities. Call Gopher State One Call at 811 for all utility, gas line, and electrical line locations prior to excavation.
2. This survey was prepared using First American Title Insurance Company, Commitment No. NCS 860920–MPLS. Commitment Date: July 24, 2017 at 7:30 a.m.
3. Property address: The property does not have an address. The county PID: 2512023210009.
4. Subject property lies in Zone X as it appears on Flood Insurance Rate Map Community – Map Number 27053 C0045F, dated November 4, 2016.
5. Area of subject property: PROPOSED LOT 1 = 435,769± Sq. Ft. or 10.00± Acres.
6. 2030 Comprehensive Plan: Industrial

   Existing Zoning: Special Industry (S–I)
   Proposed Zoning: Limited Industry (L–I)
7. Property is vacant and used as agricultural.
8. Bearings based on assumed datum.
9. Names of adjacent property owners obtained from the Hennepin County website. (www.co.hennepin.mn.us).
10. Existing % of impervious to site = 0 square feet = 0%
11. See wetland report for soil types.

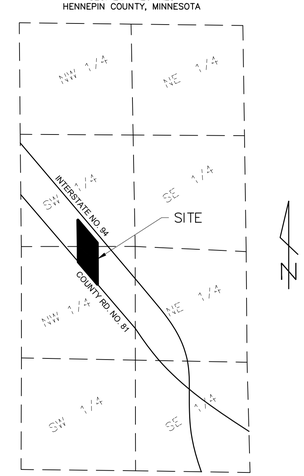
EXISTING DESCRIPTION OF PARCEL:

The West 446.92 feet of that part of the SE 1/4 of the SW 1/4 of Section 24, Township 120, Range 23, Hennepin County, Minnesota, lying southwesterly of Interstate Highway Number 94; and the West 446.96 feet of the E 1/2 of the NW 1/4 of Section 25, Township 120, Range 23, lying northeasterly of Minnesota State Highway Number 152.

PROPOSED DESCRIPTION:

LOT 1, BLOCK 1, INTERSTATE OF ROGERS

VICINITY MAP
NO SCALE
SEC. 24–T120–R23
HENNEPIN COUNTY, MINNESOTA



SEC. 25–T120–R23
HENNEPIN COUNTY, MINNESOTA

OWNER

VEVEA FAMILY LIMITED PARTNERSHIP
8740 MASON AVE. NE
OTSEGO, MN 55330

GENERAL CONTRACTOR

KIEHM CONSTRUCTION, INC.
8415 WEST 220TH STREET WEST
LAKEVILLE, MN 55044

ARCHITECT

HGFA ARCHITECTS, PLLC
800 GRANITE TOWER
222 NORTH 32ND STREET
BILLINGS, MONTANA 59101

SURVEYOR/ENGINEER

JACOBSON ENGINEERS & SURVEYORS
21029 HERON WAY
LAKEVILLE, MN 55044

LEGEND

	LOT LINE	G.M.	GAS METER
	RIGHT-OF-WAY LINE	A.C.	AIR CONDITIONER
	EASEMENT LINE		HYDRANT
	WATER MAIN		WATER VALVE
	SANITARY SEWER	P.I.V.	POST INDICATOR VALVE
	STORM SEWER		SANITARY MANHOLE
W W W	WATER SERVICE	C.O.	CLEANOUT
S S S	SANITARY SERVICE		STORM MANHOLE
	CHAIN LINK FENCE		AREA CATCH BASIN
	VINYL/WOOD FENCE		CATCH BASIN
	LIGHT POLE		CONIFEROUS TREE
	POWER POLE		DECIDUOUS TREE
XFMR.	TRANSFORMER	999	CONTOUR LINE
CBLX.	CABLE BOX		SPOT ELEVATION
TEL.	TELEPHONE BOX		DRAINAGE ARROW
E.M.	ELECTRIC METER		DETAIL
			NOTE

REVISIONS

PROJ. NO:	217178
DRAWN:	GDJ
CHECKED:	GDJ
SCALE:	AS SHOWN
FIELD BOOK:	A
DATE:	1–3–18

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer and Land Surveyor under the laws of the State of Minnesota.

Signature: Grant D. Jacobson License No: 23189

Print Name: GRANT D. JACOBSON Date: 10/10/18

JACOBSON
ENGINEERS & SURVEYORS

jacobson@engrsurv.com (952) 469–4328
21029 HERON WAY LAKEVILLE, MN 55044
FAX (952) 469–4624

PREPARED FOR:

Kiehm Construction, Inc.
8415 220th Street West
Lakeville, MN 55044
952-469-5600

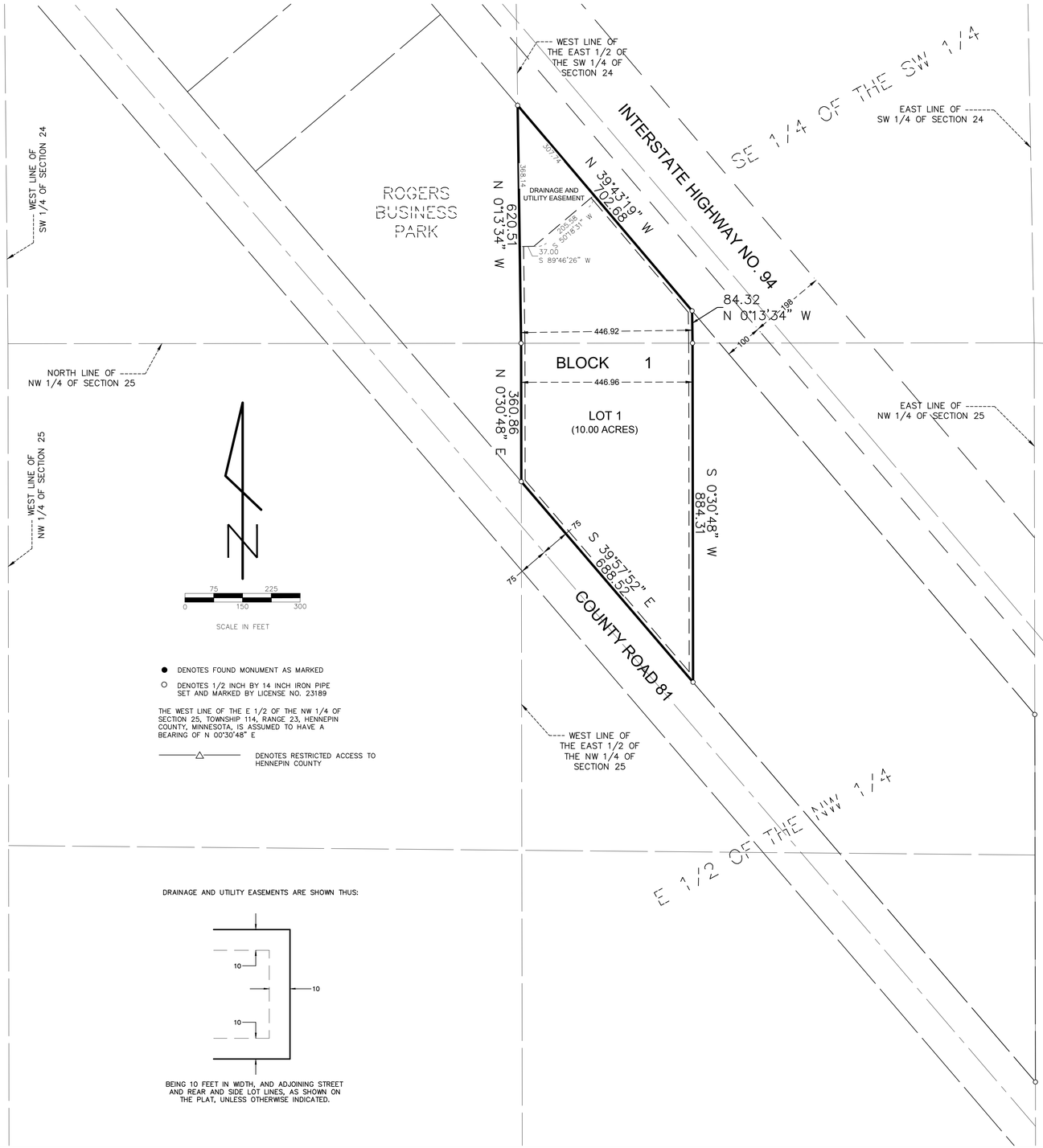
CERTIFICATE OF SURVEY AND PRELIMINARY PLAT OF "INTERSTATE OF ROGERS"

INTERSTATE POWER SYSTEMS
ROGERS, MN

SHEET NO.
C–2
3

Oct. 10, 18
217178

INTERSTATE OF ROGERS



● DENOTES FOUND MONUMENT AS MARKED

○ DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET AND MARKED BY LICENSE NO. 23189

THE WEST LINE OF THE E 1/2 OF THE NW 1/4 OF SECTION 25, TOWNSHIP 114, RANGE 23, HENNEPIN COUNTY, MINNESOTA, IS ASSUMED TO HAVE A BEARING OF N 00°30'48" E

DENOTES RESTRICTED ACCESS TO HENNEPIN COUNTY

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

BEING 10 FEET IN WIDTH, AND ADJOINING STREET AND REAR AND SIDE LOT LINES, AS SHOWN ON THE PLAT, UNLESS OTHERWISE INDICATED.

_____

C.R. DOC. NO. _____

KNOW ALL PERSONS BY THESE PRESENTS: That Vevea Family Limited Partnership, fee owner of the following described property situated in the State of Minnesota, County of Hennepin, to-wit::

That part of the Southeast Quarter of the Southwest Quarter (SE 1/4 SW 1/4) of Section 24, Township 120, Range 23, lying southwesterly of Interstate Highway Number 94; and That part of the East Half of the Northwest Quarter (E 1/2 of NW 1/4) of Section 25, Township 120, Range 23, lying northeasterly of Minnesota State Highway Number 152 and lying southwesterly of Interstate Highway Number 94.

Has caused the same to be surveyed and platted as INTERSTATE OF ROGERS and does hereby dedicate to the public for public use the drainage and utility easements as created by this plat.

In witness whereof said Vevea Family Limited Partnership, has caused these presents to be signed by its General Partner this _____ day of _____, 20____.

_____ General Partner
Charles A. Vevea

STATE OF MINNESOTA

COUNTY OF _____

This instrument was acknowledged before me on _____ , by Charles A. Vevea, General Partner, on behalf of the company.

_____
Signature

_____
Printed

Notary Public,_____ County,_____

My Commission expires _____

SURVEYORS CERTIFICATE

I hereby certify that I have surveyed and platted the property described on this plat as INTERSTATE OF ROGERS, that this plat is a correct representation of the survey, that all distances are correctly shown on the plat in feet and hundredths of a foot, that all monuments have been correctly placed in the ground as shown, and that the outside boundary lines are correctly designated on the plat.

_____
Grant D. Jacobson, Licensed Land Surveyor
Minnesota License No. 23189

STATE OF MINNESOTA

COUNTY OF _____

This instrument was acknowledged before me on _____ by Grant D. Jacobson.

_____
Signature

_____
Printed

Notary Public,_____ County,_____

My Commission expires _____

CITY COUNCIL, CITY OF ROGERS, MINNESOTA

This plat of INTERSTATE OF ROGERS was approved by the City Council of Rogers, Minnesota, this_____day of _____ , 20___. and hereby certifies compliance with all requirements as set forth in Minnesota Statutes, Section 505.03, Subd. 2.

_____ Mayor

_____ City Clerk

TAXPAYER SERVICES DIVISION, HENNEPIN COUNTY, MINNESOTA

I hereby certify that taxes payable in 20____, and prior years have been paid for land described on this plat. Dated this_____day of _____ , 20____.

_____
Mark V. Chapin, Hennepin County Auditor

COUNTY SURVEYOR, HENNEPIN COUNTY, MINNESOTA

Pursuant to Minnesota Statutes, Section 505.021, Subd. 11, this plat has been approved this _____ day of _____ , 20 ____ .

By: _____
Tim Eklund, Hennepin County Surveyor

COUNTY RECORDER, HENNEPIN COUNTY, MINNESOTA

I hereby certify that the within plat of INTERSTATE OF ROGERS was filed for record in this office this _____ day of_____ , 20____ , at _____ o'clock_____.M.

_____
Martin McCormick, County Recorder

SHEET NO.
C-3
3
Oct. 10, 18
217178

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 7.3

Subject: Items Relating to a Request from Primrose Schools Franchising Company:

Prepared By: Jason Ziemer, City Planner / Community Development Coordinato

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Recommended City Council Action

Motion to approve the following:

- Resolution No. 2018-96, approving a Preliminary and Final Plat for Walter Dehn Commerce Center 7th Addition.
- Resolution No. 2018-97, approving a Site Plan for Primrose School of Rogers, PID 24-120-23-41-0014.
- Resolution No. 2018-98, approving a Variance to City Code to allow for a reduction in building area and landscape area setback requirements.

Overview / Background

Primrose Schools Franchising Company (Applicant) has submitted a Zoning & Land Use application, requesting City approval of a Preliminary Plat, Final Plat, Site Plan and Variance for a proposed 11,450 square foot child care facility for infants (3 months) to pre-Kindergarten (Development). The Development is proposed for the unaddressed, 2.3-acre vacant lot between South Diamond Lake Road (south) and 135th Avenue North (north), and Commerce Boulevard (east) and Richard Street (west); PID 14-120-23-41-0014 (Subject Property). The proposed Development name is Primrose Schools.

The Subject Property is required to be platted as it is currently an Outlot to the Walter Dehn Commerce Center 6th Addition. The Applicant is proposing to plat the entire property as one (1) lot even though the western portion shall remain vacant at this time.

On October 16, 2018, the Planning Commission reviewed applications for Preliminary Plat, Site Plan and Variance. A public hearing was conducted to consider the Preliminary Plat and Variance requests; no verbal or written public comment was received. The Commission recommended approval of the Preliminary Plat and Variances with no conditions. The Site Plan was recommended for approval with the following conditions:

1. The Applicant shall submit and obtain approval for the storm water and erosion control plans, and receive the required permit(s), from Elm Creek Watershed Management Commission.
2. The Applicant shall review options to connect the internal sidewalk from the parking lot south to the trail along South Diamond Lake Road.
3. External lighting for the monument sign shall be revised to be downward facing to satisfy City Code.
4. Address Fire Department concerns regarding site access and fire truck navigation, and revise plans as necessary to satisfy Fire Department requirements.

The 60-day statutory review period expires on November 25, 2018.

Primary Issues to Consider

1. Land Use & Zoning
2. Preliminary & Final Plats
3. Site Plan
4. Variance Standards

Analysis of Primary Issues

1. Land Use & Zoning

The Subject Property, a 2.3-acre site, is currently guided as **Commercial**, per the Rogers 2030 Comprehensive Plan, which is defined as follows: *Commercial uses include community and regional scale retail and service. Commercial land uses should be located in places with good accessibility to the regional highway system as well as to alternative roadway access points that provide convenient access for the local community. Commercial nodes should be sized to accommodate a critical mass of uses that create a strong and vibrant commercial center. These nodes typically range in size from 100,000 to 350,000 square feet.*

The corresponding zoning for the property is **Retail Business District (B-1)**. A text amendment approved by the City Council (Ordinance 2018-03), added Child Care as a *Permitted Use* the B-1 zoning District [City Code Section §125-197].

The property does fall within the **Highway Corridor Overlay District** *North Side Commercial Subdistrict*, as established by City Code Section §125-225(f)(2). This Overlay District establishes development standards emphasizing greater sensitivity to the environment and higher quality architectural and site design. Those standards shall be reviewed as part of the Site Plan.

Land Use and Zoning conditions are satisfied.

2. Preliminary & Final Plats

The Applicant is proposing to re-plat the 2.30-acre parcel as Walter Dehn Commerce Center 7th Addition; legal description Lot 1, Block 1, Walter Dehn Commerce Center 7th Addition. The Preliminary Plat satisfies City requirements for platting. The Applicant is providing drainage and utility easements (D/UE) and trail easements as required by the City.

Platting conditions are satisfied.

Planning Commission action is to review and recommend approval/denial of the Preliminary Plat; the City Council reviews and approves Final Plats.

3. Site Plan

Site

Currently, the Subject Property is a single parcel with an area of 2.3 acres (100,254 square feet); PID: 23-120-23-44-0039. It is located on South Diamond Lake Road between Richard Street (west) and Commerce Boulevard (east). The property is completely vacant. As described above, the Applicant is proposing to re-plat the entire property but develop only half of the site.

The proposed building is 11,450 square feet and shall be constructed on the east side of the site with the parking lot in between the building and undeveloped area. Access to the property shall be from 135th Avenue North. A new sidewalk shall run the entire length of the northern property boundary along 135th Avenue; there are existing trails on each of the other three sides of the property. The internal sidewalk system extends along the front of the building to the southern edge of the parking lot, but does not extend to the trail along South Diamond Lake Road. In conversations with planning representatives for the Application, the sidewalk was extended as that area was required for excess overland water run-off. City staff did suggest it may be necessary to extend the sidewalk to connect with the trail; Public Works staff will be advised for thoughts on how that might work and still allow for run-off.

For security purposes, the Applicant is proposing a decorative, six (6) foot high fence to surround the south, east and north sides of the building to enclose the play areas. The trash enclosure is located on the north end of the parking lot.

Lot Coverage

The total impervious area shown on the Site Plan totals 34,126 square feet (0.78 acres), or 34.0% of the total site (100,254 square feet). There are no lot coverage standards for developments in Commercial districts. In comparison, in residential districts the maximum impervious surface area is 75% [City Code §125-329(4)].

Lot coverage is satisfied.

Parking & Site Circulation

The parking plan shows a 41 total parking spaces, include 2 accessible spaces. According to City Code §125-313(c)(7), parking requirements for schools, preschools or daycare centers are: *One space for each 450 square feet of floor area.* Based on that, the required number of parking spaces for the 11,450 square foot building is 25.44, or 26 total parking spaces. Based on the placement of the parking lot – middle of the site – it is assumed any future development of the undeveloped area will require a private shared parking and ingress/egress agreement. From a zoning perspective, the City will need to examine parking standards at the time of development to determine whether the parking provided is satisfactory for both uses. Because peak hours for the child care facility area morning and evening, it is likely any parking impacts to a future business on the west side of the site are minimal, making a shared parking situation ideal.

As noted above, the only ingress/egress access for site is from 135th Avenue North. The driveway is also aligned with the driveway access to the existing hotel and restaurant to the north. As it is a child care facility, peak traffic hours will be during morning and evening rush hours. Although a child care facility, persons dropping off children will be required to park and go into the building versus a drive up and drop off situation typical with schools.

Parking and site circulation requirements are satisfied.

Materials

Developments in commercial business districts must satisfy architectural design standards. Thos standards [§125-346], state: *In all commercial and business zoning districts (B-1, B-2, B-3 and B-C) 75*

percent of the exterior building finish shall consist of the following materials: face brick; natural stone; glass; cast stone; cultured stone; EIFS; precast concrete panel with an exposed aggregate of granite, marble, limestone or other natural stone material with at least two architectural reveals per panel. The building must also use up to three of the following to break up long walls: *window bays, special treatments at entrances, variations in rooflines or parapet, and building setbacks or articulation of the façade.* For buildings 10,000 to 20,000 square feet in total gross area, no wall can exceed 50 linear feet without some type of variation to the wall. Three (3) walls exceed that linear feet standard; the south wall (facing South Diamond Lake Road) is the longest on the proposed building at 164.6 feet.

The colored architectural elevation provided by the Applicant shows a high-quality finished design, using a mix of high quality materials with articulations in the roof. With the exception of the window bays and external doors, the exterior of the building shall be comprised entirely of a red brick veneer and tan cultured stone finish. The other exterior colors are brown/black, tate olive and sandstone beige. The Applicant has also created a special entrance, featuring the School's signature peaked cupola with weather vane and company logo above the entrance. In addition to the exterior finish requirements for commercial building, City Code also requires trash enclosures to be of the same materials. According to the plans the enclosure shall be of the same red brick veneer to match the building. The security fence shall be black.

Material requirements are satisfied.

Surface Water

The Applicant is proposing to use existing regional ponding areas to the west and north on Richard Street. The Applicant is proposing on-site treatments to satisfy watershed district requirements for quality and volume reduction. The storm water and erosion control plans have been reviewed by City staff and water resource staff at WSB, the City's engineering firm. As of the date of this staff report, the storm water management plan had not yet been submitted for review and approval by the Elm Creek Watershed Management Commission (District); the District must also issue the necessary permits.

Surfaced Water requirements are not satisfied; pending approval from the District.

Landscape Plan

The Subject Property is currently a vacant field with grass cover. For landscaping, City Code merely requires the Applicant to provide a plan that shows the location, size and type of tree and plant species. The Landscape Plan shows 15 overstory trees and nine (9) ornamental trees of varying species to be planted on the property, and 124 shrubs of varying species to be planted in parking lot islands and planting beds adjacent to the building. The City requires all trees planted to have a minimum caliper of 2.5 inches. According to City Code [§125-313(c)(6)], for every 12 parking spaces in a row a landscaped island shall be provided with at least one (1) tree per island. The minimum size of the island is nine (9) feet by 18 feet. City staff has discussed the size of the islands with the Applicant. Smaller islands are not often conducive to successful and sustainable plant and tree growth; staff requested combining the two (2) center islands into one (1) island. As the Applicant is satisfying minimum standards it was decided to leave the islands as shown on the plans.

Landscape requirements for properties in the Highway Corridor Overlay District [§125-225(e)(1-2)] require a 20-foot wide irrigated landscaped area adjacent to all street rights of way. Based on the description for open areas irrigated and landscaped areas include grass groundcover, trees, shrubs or

other ornamental landscape material. On the north side of the property, along 135th Avenue North, the Applicant is not currently satisfying the 20-foot landscaped area requirement. This is subject to one (1) of two (2) variance requests, which shall be discussed later.

Landscape Plan requirements are satisfied pending approval of Variance to Highway Corridor Overlay District landscape area requirements.

Signage

The Subject Property is in the *CB Community Business Sign Overlay District*. Applicable sign standards for this district [§113-9] allow the following: wall signs with a maximum area of 2 square feet per lineal feet, up to a maximum of 100 square feet; and freestanding signs with a maximum area of 60 square feet and maximum height of 12 feet. Lighting for wall and freestanding signs may be either internally or externally lit; any external lighting source must be downward facing only.
The Site Plan and elevation plans show three (3) signs – one (1) monument sign and two (2) wall signs. The monument sign is located on the southeast corner of the property, facing the intersection of South Diamond Lake Road and Commerce Boulevard. The wall signs are located on the east elevation, facing Commerce Boulevard, and west elevation, above the entrance facing the parking lot.

According to the sign plans submitted, the two (2) wall signs are 12.25 square feet each for a total of 24.5 square feet. Sign area for monument signs are measured using the lettering and images, such as logos; only one side of the sign is measured. According to the sign plan for the monument sign the total sign area is 22.6 square feet. This is comprised of the total area for all copy/text of 19.5 square feet and the logo of 3.1 square feet. The height of the monument sign is seven (7) feet. The cross section of the monument sign shows a ground-mounted light source, projecting up onto the sign. As noted above, City Code requires external light sources to be downward facing. The planning firm representing the Applicant was notified and directed to make this change.

Sign requirements for area and height are satisfied. Requirements for external lighting for the monument will need to be satisfied.

Fire

The Applicant provided a drawing showing fire apparatus access. Fire staff are yet to comment on the drawing, but have expressed concerns about the site navigation. Those concerns will be addressed with the Applicant.

Fire Department requirements are not satisfied.

4. Variance Standards

The Applicant has submitted two (2) Variance requests – setback variance to the 20-foot landscape area for a commercial property in the Highway Corridor Overlay District, and setback variance for the 30-foot building setback requirement for the B-1 Zoning District.

Landscape Area Variance

The Development proposes play areas on the south, east and north side of the building; a security fence shall also be constructed to enclose those play areas. The resulting encroachment is estimated at eight

(8) feet. According to the project narrative, and planning staff for the Applicant, the encroachment is necessary to satisfy total area needed for the play equipment and individual play areas.

Building Setback Variance

The Site Plan shows the location trash enclosure area on the northern end of the parking lot, and adjacent to the driveway off 135th Avenue North. The trash enclosure is located entirely within the 30-foot building setback and encroaches approximately two (2) feet into the 20-foot landscape area. Planning staff for the Applicant noted the enclosure could be moved south but would obstruct the building and conflict with parking areas and possibility emergency vehicle site navigation and building access.

Variance Considerations

For variance applications, the Planning Commission shall use the following criteria as part of its analysis and evaluation when considering whether to approve such requests [§125.58(a)].

1. Variances shall only be permitted when they are in harmony with the general purpose and intent of city code and consistent with the comprehensive plan.
2. Variances may only be permitted when the applicant establishes that there are non-economic practical difficulties in complying with the zoning ordinance, meaning the property owner proposes to use the lot or parcel in a reasonable manner not permitted by the zoning code.
3. The plight of the property owner must be due to circumstances that are unique to the lot or parcel and is not created by the property owner.
4. The variances must not alter the essential character of the locality including all zoning district and overlay district provisions.

Although the practical difficulty aspect of variance requests looks at the "reasonable use" of a property, that consideration by the Planning Commission should also take into account whether a variance is absolutely necessary. In other words, is the Applicant able to comply with current zoning code as stated without the need for a Variance.

Analysis of Request

Based on a review of other Primrose Schools locations, the building and site layout are consistent with those projects. Thus, from a site perspective, the Applicant is not requesting anything out of the ordinary from the other Primrose Schools locations. Although along a public street (135th Avenue North) and facing the front of other commercial properties, the area in question is essentially on the backside of the development. The edge of the fence is also shown as approximately 22 feet from the back of the curb and in excess of 12 feet from the sidewalk. The fence does not encroach into the drainage and utility easement. In exchange for the landscape area variance, the developer increased the amount of landscaping. City staff did examine whether additional landscaping or tree plantings should be located adjacent to the fenced area. Doing so would result in plantings within the drainage and utility easement area, which is not advisable.

As for the trash enclosure, planning staff for the Applicant indicated the enclosure could be shifted south, resulting in the loss of one (1) parking space. However, the enclosure would be still require a building setback variance. Moving the trash enclosure entirely outside of the building setback area would

result in the loss of two (2) parking spaces and likely create service issues for service trucks trying to access this location. Additionally, pending final resolution of the fire apparatus plan as previously discussed, the current fire apparatus access plan shows relocating the enclosure outside of the setback area would likely create issues for fire trucks navigating the site. City staff also reviewed relocating the trash enclosure to the west side of the parking lot. That option did not seem prudent as the west side of the property shall remain undeveloped into the unforeseeable future.

The Planning Commission recommended approval of the Variance requests with no conditions.

Staff Recommendation

As recommended by the Planning Commission, City staff recommends approval of the following and conditions as cited within each Resolution:

- Resolution No. 2018-96, approving a Preliminary and Final Plat for Graco Addition.
- Resolution No. 2018-97, approving a Site Plan for Primrose School of Rogers, PID 24-120-23-41-0014.
- Resolution No. 2018-98, approving a Variance to City Code to allow for a reduction in building area and landscape area setback requirements.

ATTACHMENTS:

Description

Resolution No. 2018-96_Preliminary & Final Plat_Primrose Schools_10-23-2018

Resolution No. 2018-97_Site Plan_Primrose Schools_10-23-2018

Resolution No. 2018-98_Landscape and Building Area Setback Variance_Primrose Schols_10-23-2018

Preliminary Plat_Primrose Schools_10-10-2018

Final Plat_Primrose Schools_10-10-2018

Site & Civil Plans_Primrose Schools_10-10-2018

Dumpster & Sign Detail_Primrose Schools_10-10-2018

Monument Sign_Primrose Schools_10-10-2018

Wall Signs_Primrose Schools_10-10-2018

Fencing Cross Section_Primrose Schools_10-10-2018

Playground Structures_Primrose Schools_10-10-2018

RESOLUTION NO. 2018 - 96

A RESOLUTION GRANTING APPROVAL OF THE PRELIMINARY AND FINAL PLAT FOR WATER DEHN COMMERCE CENTER 7TH ADDITION

WHEREAS, Primrose Schools Franchising Company ("Applicant") submitted an application to the City of Rogers ("City") requesting approval of a Preliminary Plat and Final Plat for Walter Dehn Commerce Center 7th Addition ("Plat"); and,

WHEREAS, the Plat shall create the Plat totaling 2.3 acres, to be legally described as Lot 1, Block 1, Walter Dehn Commerce Center 7th Addition, PID 23-120-23-44-0030; and,

WHEREAS, the proposed Plat is consistent with 2030 Comprehensive Plan and current zoning regulations for the City; and

WHEREAS, on October 16, 2018 the Planning Commission ("Commission") conducted a public hearing to receive public comment on the proposed Plat; and

WHEREAS, no public comment was received related to the Plat application, and the Commission recommended to the City Council approval of the Plat as presented.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, that the Preliminary Plat for Walter Dehn Commerce Center 7th Addition is hereby approved.

BE IT FURTHER RESOLVED, the Final Plat for Walter Dehn Commerce Center 7th Addition is hereby approved subject to the following conditions:

1. A Development Agreement between the City and Applicant, identifying the terms and conditions of the development and financial security obligations of the Applicant, shall be executed and recorded.
2. The Final Plat must be recorded with Hennepin County within six (6) months of approval.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23rd day of October, 2018.

_____
Rick Ihli, Mayor

ATTEST:

_____
Stacy Scharber, City Clerk

EXHIBIT A

LEGAL DESCRIPTION

Existing Legal Description
Outlot A, Walter Dehn Commerce Center 6th Addition

Proposed Legal Description
Lot 1, Block 1, Walter Dehn Commerce Center 7th Addition

RESOLUTION NO. 2018 - 97

A RESOLUTION APPROVING SITE PLAN FOR PRIMROSE SCHOOL OF ROGERS FOR A 11,450 SQUARE FOOT CHILD CARE FACILITY

WHEREAS, Primrose Schools Franchising Company ("Applicant") submitted an application to the City of Rogers ("City") requesting approval of a Site Plan for Primrose School of Rogers ("Development"), platted as Walter Dehn Commerce Center 7th Addition ("Plat"), per Resolution No. 2018-96; and,

WHEREAS, the Development shall include an 11,450 square foot child care facility with secure outdoor play areas on 2.3 acres; ingress/egress for the site shall be from 135th Avenue North; and,

WHEREAS, the Applicant shall also construct a sidewalk on the north side of the Development, along 135th Avenue, at no cost to the City; and,

WHEREAS, on October 16, 2018, the Planning Commission reviewed and recommend approval of the Site Plan to the City Council, finding the Development is consistent with the Comprehensive Plan and Zoning and has satisfied City Site Plan requirements.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, the Site Plan request from Primrose Schools Franchise Company is hereby approved for an 11,450 square foot child care facility with security outdoor areas on 2.3 acres.

BE IT FURTHER RESOLVED, approval of the Site Plan shall be based on the following conditions:

1. The Applicant shall submit and obtain approval for the storm water and erosion control plans, and receive the required permit(s), from Elm Creek Watershed Management Commission.
2. The Applicant shall connect the internal sidewalk from the parking lot south to the trail along South Diamond Lake Road.
3. External lighting for the monument sign shall be revised to be downward facing to satisfy City Code.
4. The Applicant shall address Fire Department concerns regarding site access and fire truck navigation, and revise plans as necessary to satisfy Fire Department requirements.
5. Primrose Schools Franchising Company and the City of Rogers shall enter into a Development Agreement, identifying the terms and conditions of the Development and financial security obligations of the Applicant.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor and attested by the Clerk dated this 23rd day of October, 2018.

_____
Rick Ihli, Mayor

ATTEST:

_____
Stacy Scharber, Clerk

EXHIBIT A

LEGAL DESCRIPTION

Block 1, Lot 1, Walter Dehn Commerce Center 7th Addition

RESOLUTION NO. 2018 - 98

A RESOLUTION APPROVING A VARIANCE TO ALLOW A REDUCTION LANDSCAPE AREA AND BUILDING AREA SETBACKS PRIMROSE SCHOOL OF ROGERS

WHEREAS, Primrose Schools Franchising Company ("Applicant") submitted a request for Variance approval from the City of Rogers ("City") to allow for a setback variance for the location of the trash enclosure and security fencing; and,

WHEREAS, the Applicant received Site Plan approval from the City, per Resolution No. 2018-97, for Primrose School of Rogers, an 11,450 square foot child care facility with secure outdoor play area on 2.3 acres ("Development"); and,

WHEREAS, the Development is located in the Retail Business District (B-1) ("Zoning District") and Highway Corridor Overlay District, Northside Commercial Subdistrict ("Overlay District"); and,

WHEREAS, the Zoning District has the following performance standard requirements for building setbacks: 30 feet, front and rear yards, and 10 feet, side yards; and

WHEREAS, the Development affronts four (4) City streets, resulting in a 30-foot front yard setback on all four (4) sides of the property; and,

WHEREAS, the Overlay District requires a 20-foot wide irrigated landscaped area adjacent to all street rights of way, which shall be comprised of grass ground cover, trees, shrubs or other ornamental landscape material; and,

WHEREAS, the approved Site Plan showed the trash enclosure encroaching 12 feet into the 30-foot front yard setback, affronting 135th Avenue North, and security fence for the play areas affronting 135th Avenue North encroaching eight (8) feet into the 20-foot landscape area, both requiring a Variance to Zoning District and Overlay District setback requirements as described herein; and,

WHEREAS, on October 23, 2018 the Planning Commission ("Commission") conducted a public hearing to consider the application and to receive public comment on the proposed Variances; and,

WHEREAS, no written or verbal public comment was received related to the application; and,

WHEREAS, the Commission considered the Variance requests and made the following determinations:

- The Variance requests maintain harmony with the general purpose and intent of City Code and are consistent with the Comprehensive Plan of the City and applicable zoning district.

- The Applicant has proposed additional landscaping no the property to offset the reduced landscaped areas along 135th Avenue North.
- The Variance requests enhance the Subject Property and do not alter the essential character of surrounding, similarly zoned properties.

WHEREAS, based on those determinations, the Commission recommended to the City Council approval of both Variances, allowing the encroachments as described herein.

NOW THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF ROGERS, MINNESOTA, that the following Variance requests are hereby approved:

1. A variance from City Code §125-197(e)(2), allowing a 12-foot encroachment into the minimum front yard setback requirement of 30 feet for the purpose of locating the trash enclosure.
2. A variance from City Code §125-225(e)(1), allowing an eight (8) foot encroachment into the 20-foot landscape areas as required for properties in the Highway Corridor Overlay District.

BE IT FUTHER RESOLVED, any alterations to the Site Plan, as approved per Resolution No. 2018-96, including revisions to the setback encroachments into the minimum setback areas as approved by this Resolution, shall require review by the City and may require an amendment to the Site Plan.

Moved by Councilmember , seconded by Councilmember

The following voted in favor of said resolution:

The following voted against the same:

The following abstained:

Whereupon said resolution was declared duly passed and adopted, and was signed by the Mayor, and attested by the Clerk dated this 23rd day of October, 2018.

_____
Rick Ihli, Mayor

ATTEST:

_____
Stacy Scharber, City Clerk

EXHIBIT A

LEGAL DESCRIPTION

Block 1, Lot 1, Walter Dehn Commerce Center 7th Addition

PRELIMINARY PLAT OF:
WALTER DEHN COMMERCE CENTER 7TH ADDITION

LEGEND

- STORM MANHOLE
- STORM CATCH BASIN
- SANITARY MANHOLE
- GATE VALVE / HYDRANT
- SIGN
- GAS METER
- UTILITY POLE
- TRANSFORMER
- GUARD POST
- CLEAN OUT
- FLARED END SECTION
- LIGHT
- GUY ANCHOR
- GAS MANHOLE
- GAS VALVE
- ELECTRIC MANHOLE
- ELECTRIC METER
- TELEPHONE PEDESTAL
- CABLE TV BOX
- COMMUNICATIONS MANHOLE
- AIR CONDITIONING UNIT
- FLAG POLE
- FOUND MONUMENT
- SET MONUMENT MARKED LS 43933
- POST
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND GAS
- OVERHEAD ELECTRICAL WIRE
- FIBER OPTIC
- CHAIN LINK FENCE
- WOOD FENCE
- WIRE FENCE
- WET LAND
- RETAINING WALL
- BLOCK RETAINING WALL
- STONE RETAINING WALL
- POND / WATER LINE
- BENCH
- HAND HOLE
- COMMUNICATIONS VAULT
- BENCHMARK
- DELINEATION POST
- GROUND LIGHT
- EASEMENT LINE
- SETBACK LINE
- BUILDING LINE
- TRAFFIC LIGHT
- VENT
- BEEHIVE
- WELL
- MAILBOX
- POST INDICATOR VALVE
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- RESTRICTED ACCESS
- HANDICAP PARKING STALL
- REGULAR PARKING STALL COUNT
- TREE LINE
- CONCRETE CURB
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB
- SPOT ELEVATION
- CONTOUR
- SOIL BORING
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN

CONTACT LIST

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CONTACT: CRAIG JOHNSON

LANDSCAPE ARCHITECT
SAMBATEK
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MINNETONKA, MN 55343
TEL 763-476-6010
CONTACT: JOSH MCKINNEY

DESCRIPTION

EXISTING LEGAL DESCRIPTION:

Outlot A, WALTER DEHN COMMERCE CENTER 6TH ADDITION, according to the record Plat thereof, Hennepin County, Minnesota
Abstract Property

PROPOSED LEGAL DESCRIPTION:

Lot 1, Block 1, WALTER DEHN COMMERCE CENTER 7TH ADDITION, Hennepin County, Minnesota

SURVEY NOTES

1. The bearing system is based on the Hennepin County coordinate system, NAD83 (1986 Adjust). With an assumed bearing of S00°28'59"E for the East line of the Southeast quarter , Section 14 , Township 120N , Range 23W . The originating monuments utilized to establish the horizontal position of this survey were the Northwest corner and the Northeast corner of said section.
2. The vertical datum is based on NAVD88. The originating benchmarks are BURGA MNDOT and SLHOK, both referenced from the MnDOT Geodetic Database.

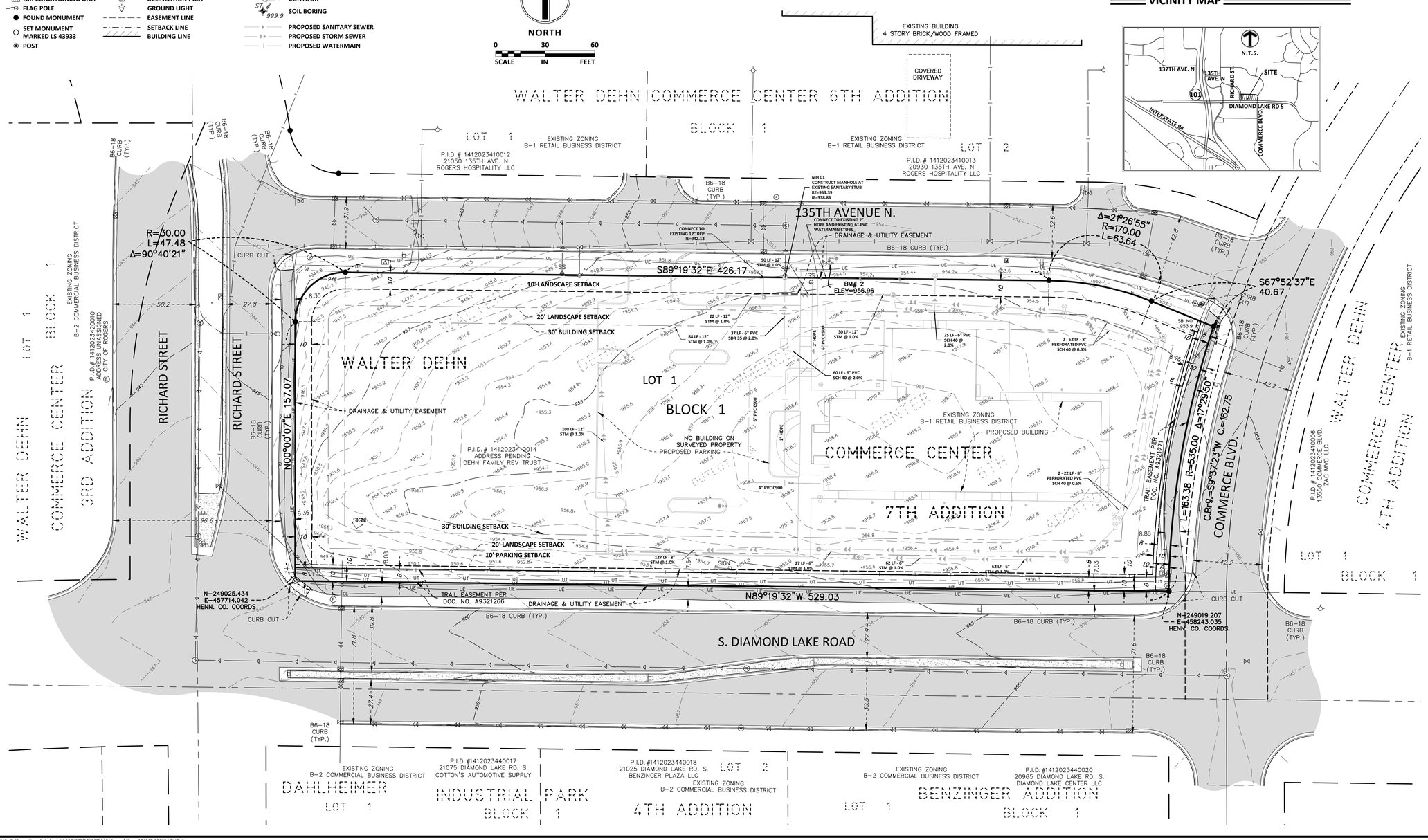
BENCHMARK #1
Top nut hydrant at northwest corner of site, east side of Richard Street. Elev.=947.50

BENCHMARK #2
Top nut hydrant at north side of site, south of 135th Avenue N. Elev.=956.96

PROPERTY SUMMARY

Address:		not assigned		
PID:		14-120-23-41-0014.		
FEMA Flood zone classification:		X – 'Areas determined to be outside the 0.2% annual chance floodplain', per FEMA, FIRM Map No. 27053C0033F dated 11/04/2016.		
Gross Area:		2.30 Acres or 100,219 Square Feet		
Hardcover				
Existing Building:	0	square feet	Proposed Building:	11,450 square feet
Existing Bituminous:	8,363	square feet	Proposed Bituminous:	17,410 square feet
Existing Concrete:	0	square feet	Proposed Concrete:	5,389 square feet
Proposed Landscape:	57,607	square feet		
Proposed Building Coverage:		11.40%		
Proposed Impervious Coverage:		31.09%		
Proposed Pervious Area:		57.51%		
2030 Comp.Plan Land Use:		Commercial		
Existing Zoning:		B-1 - Retail Business District, per City of Rogers, MN zoning map dated 04/01/2018.		
Proposed zoning:		B-1 - Retail Business District		
Setback Requirements				
Front Yard:		30 feet		
Side Yard:		30 feet (facing street)		
Rear Yard:		30 feet		
Parking:		10 feet		
Other Requirements				
Maximum Building Height:		45 feet		
Minimum Lot Area:		10,000 square feet		
Parking Requirements				
Existing Parking Spaces:		0		
Required Parking Spaces:		25 (1/450 square feet of floor area for Schools, preschool, or daycare centers)		
Proposed Parking Spaces:		41 regular, 2 handicap		

VICINITY MAP



Sambatek
www.sambatek.com
12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343
763.476.6010 telephone
763.476.8532 facsimile
Engineering | Surveying | Planning | Environmental

Client
PRIMROSE SCHOOLS FRANCHISING COMPANY
3660 CEDARCREST ROAD
ACWORTH, GEORGIA 30101

Project
PRIMROSE SCHOOL OF ROGERS

Location
ROGERS, MN.

CRAIG E. JOHNSON
LICENSED LAND SURVEYOR
44530
STATE OF MINNESOTA

Certification
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed LAND SURVEYOR under the laws of the State of Minnesota.

Craig E. Johnson
Registration No.44530 Date: 10/02/2018

If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek's, Minnetonka, MN office.

Summary
Designed: Drawn:BAA
Approved:CEJ Book / Page:
Phase:PRELIM PLAT Initial Issued:9/10/2018

Revision History

No.	Date	By	Submittal / Revision
A	10/02/18	DL	City comments.

Sheet Title
PRELIMINARY PLAT

Sheet No. 1/1 **Revision** A

Project No. 21267

Oct 02, 2018 - 7:43am - User:dleimbach L:\PROJECTS\21267\CAD\Survey\Sheets\21267-PRELIM PLAT.dwg

_____

C.R. DOC. NO. _____

WALTER DEHN COMMERCE CENTER 7TH ADDITION

KNOW ALL PERSONS BY THESE PRESENTS: That Thomas B. Dehn as Trustee of the Dehn Family Revocable Trust dated December 30th, 1991, owner of the following described property situated in the City of Rogers, County of Hennepin, State of Minnesota:

Outlot A, WALTER DEHN COMMERCE CENTER 6TH ADDITION, according to the recorded plat thereof, Hennepin County, Minnesota.

Has caused the same to be surveyed and platted as WALTER DEHN COMMERCE CENTER 7TH ADDITION, and does hereby grant to the public for public use the drainage and utility easements as created by this plat.

In witness whereof said Thomas B. Dehn, Trustee of the Dehn Family Revocable Trust dated December 30th, 1991, has hereunto set his hands this _____ day of _____, 20___.

DEHN FAMILY REVOCABLE TRUST

SIGNED: _____
Thomas B. Dehn, Trustee of the Dehn Family Revocable Trust dated December 30th, 1991

STATE OF MINNESOTA
COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me this _____ day of _____, 20___, by Thomas B. Dehn, Trustee of the Dehn Family Revocable Trust dated December 30th, 1991.

_____ _____
Notary Public, _____ County, Minnesota Notary Printed Name
My Commission Expires _____

I Craig E. Johnson do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____day of _____, 20___.

_____
Craig E. Johnson, Licensed Land Surveyor,
Minnesota License No. 44530

STATE OF MINNESOTA
COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me this _____ day of _____, 20___, by Craig E. Johnson.

_____ _____
Notary Public, _____ County, Minnesota Notary Printed Name
My Commission Expires _____

ROGERS, MINNESOTA

This plat of WALTER DEHN COMMERCE CENTER 7TH ADDITION was approved and accepted by the City Council of the City of Rogers, Minnesota at a regular meeting thereof held this _____ day of _____, 20___, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Rogers, Minnesota

By: _____ Mayor By: _____ Clerk

RESIDENT AND REAL ESTATE SERVICES, Hennepin County, Minnesota

I hereby certify that taxes payable in 20___ and prior years have been paid for land described on this plat, dated this _____ day of _____, 20___.

Mark V. Chapin, County Auditor By: _____, Deputy

SURVEY DIVISION, Hennepin County, Minnesota

Pursuant to Minnesota Statutes Section 383B.565 (1969), this plat has been approved this _____ day of _____, 20___.

Chris F. Mavis, County Surveyor By: _____

COUNTY RECORDER, Hennepin County, Minnesota

I hereby certify that the within plat of WALTER DEHN COMMERCE CENTER 7TH ADDITION was recorded in this office this _____ day of _____, 20___, at _____ o'clock ____ .M.

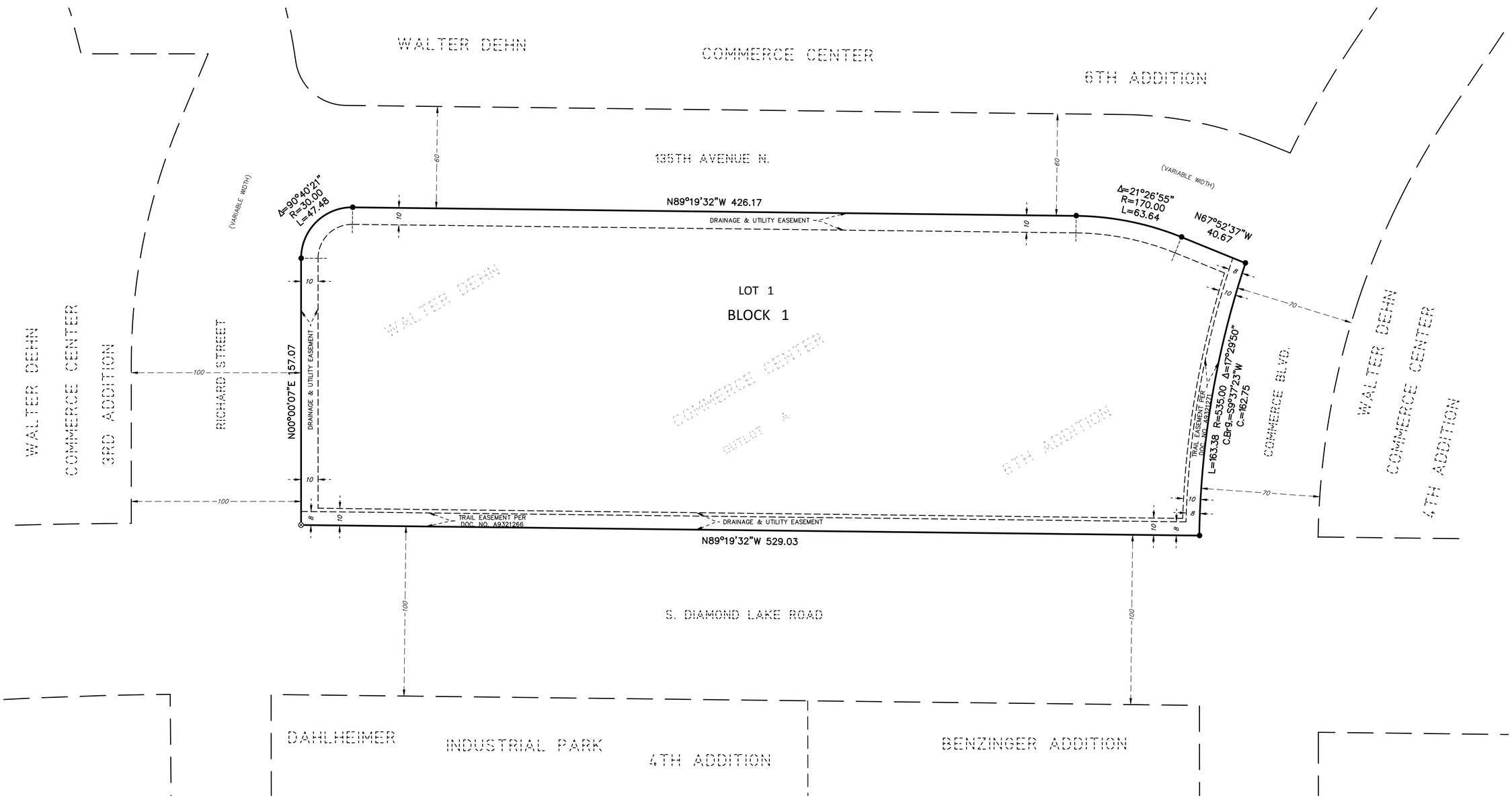
Martin McCormick, County Recorder By: _____, Deputy

SAMBATEK, INC.
ENGINEERING, PLANNING AND LAND SURVEYING

DRAFT

C.R. DOC. NO. _____

WALTER DEHN COMMERCE CENTER 7TH ADDITION



NORTH

0 30 60
SCALE IN FEET

⊗ DENOTES CHISLED "X" MARKED IN CONCRETE SIDEWALK

● DENOTES A FOUND IRON MONUMENT

THE SOUTH LINE OF LOT 1, BLOCK 1, WALTER DEHN COMMERCE CENTER 7TH ADDITION, IS ASSUMED TO HAVE A BEARING OF NORTH 89 DEGREES 19 MINUTES 32 SECONDS WEST.

SAMBATEK, INC.
ENGINEERING, PLANNING AND LAND SURVEYING

Preliminary Site Development Plans

for

Primrose School of Rogers

Rogers, Minnesota

Presented by:

Primrose Schools Franchising Company

UTILITY & GOVERNING AGENCIES CONTACT LIST:

CITY PLANNING
CITY OF ROGERS
22350 SOUTH DIAMOND LAKE ROAD
ROGERS, MN 55374
TEL 763-428-8580
CONTACT: JASON ZIEMER

BUILDING INSPECTOR
CITY OF ROGERS
22350 SOUTH DIAMOND LAKE ROAD
ROGERS, MN 55374
TEL 612-756-3440
CONTACT: JACK WEIZEL

CENTERPOINT ENERGY
9320 EVERGREEN BLVD, SUITE B
COON RAPIDS, MN 55443
TEL 320-808-8630
CONTACT: SHELLY HOUDE

PHONE
COMCAST
TEL 800-391-3000

XCEL ENERGY
404 NICOLLET MALL
TEL 800-481-4700

INTERNET
COMCAST
TEL 800-391-3000

CABLE
COMCAST
TEL 800-391-3000

UTILITY LOCATION
MINNESOTA
GOPHER STATE ONE CALL (811)
(800) 252-1166

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER
PRIMROSE SCHOOL FRANCHISING COMPANY
3660 CEDARCREST ROAD
ACWORTH, GA 30101
TEL 770-310-8755
CONTACT: JOHN FINNEMORE

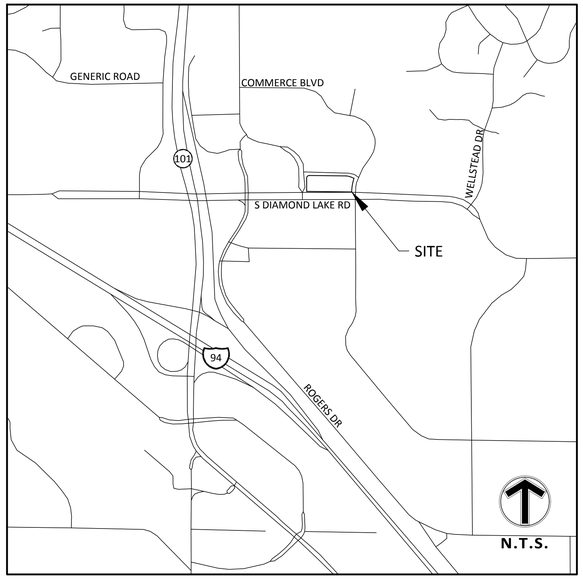
CIVIL ENGINEER
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
CONTACT: GEORGE ABERNATHY

ARCHITECT
CASCO
10877 WATSON ROAD
ST. LOUIS, MO 63127
TEL 314-821-1100
CONTACT: KRISTEN MACK

SURVEYOR
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
CONTACT: CRAIG JOHNSON

GEOTECHNICAL
PROFESSIONAL SERVICES INDUSTRIES, INC.
2915 WATERS ROAD, SUITE 112
EAGAN, MN 55121
TEL 651-646-8148
CONTACT: JOSEPH ROZMIAREK

LANDSCAPE ARCHITECT
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
CONTACT: JOSH MCKINNEY



VICINITY MAP
NO SCALE

CITY OF ROGERS NOTES

1. A REPRSENTATIVE FROM THE CITY OF ROGERS ENGINEERING DEPARTMENT MUST BE PRESENT TO INSPECT ALL CONCRETE FORMS WITHIN ROW PRIOR TO CONCRETE POUR. MINIMUM 24 HR NOTICE REQUIRED
2. ANY SIDEWALK WHICH EXCEEDS 2% CROSS SLOPE WILL BE REPLACED AT CONTRACTOR EXPENSE
3. A PRE-CONSTRUCTION MEETING IS REQUIRED TO REVIEW EROSION CONTROL METHODS AND INSPECTION REQUIREMENTS. MINIMUM 24 HR NOTICE REQUIRED,

SHEET INDEX

SHEET	DESCRIPTION
C1.01	TITLE SHEET
C2.01	EXISTING CONDITIONS
C2.02	DEMOLITION PLAN
C3.01	SITE PLAN
C4.01	GRADING PLAN
C5.01	EROSION CONTROL PLANS PHASE 1
C5.02	EROSION CONTROL PLAN PHASE 2
C5.03	EROSION CONTROL NOTES AND DETAILS
C6.01	UTILITY PLAN
C9.01	DETAILS
C9.02	DETAILS
C9.03	ACCESSIBILITY DETAILS
L1.01	LANDSCAPE SITE PLAN
L1.02	LANDSCAPE PLANTING PLAN
L4.01	LANDSCAPE DETAIL AND NOTES

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Engineering | Surveying | Planning | Environmental

Client

PRIMROSE SCHOOLS FRANCHISING COMPANY

3660 CEDARCREST ROAD
ACWORTH, GEORGIA 30101

Project

PRIMROSE SCHOOL OF ROGERS

Location

ROGERS, MN

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

PRELIMINARY

George D. Abernathy
Registration No. 43505 Date: 9/5/2018

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: GDA Drawn: MLL
Approved: GDA Book / Page:
Phase: PRELIM Initial Issued: 9/5/2018

Revision History

No.	Date	By	Submittal / Revision
	9/5/18		PRELIMINARY
	10/11/18		RESPONSE TO CITY REVIEW

Sheet Title
TITLE SHEET

Sheet No. Revision
C1.01

Project No. 21267

SUBJECT PROPERTY

Description from title commitment:

Outlot A, Walter Dehn Commerce Center 6th Addition, according to the recorded plat thereof, Hennepin County, Minnesota. Abstract Property.

The following notes correspond to the reference numbers listed in Schedule B, Section 2 of the title commitment. Exceptions 1, 2, 3, 4, 5, 6, 7, and 8 are not survey related items.

9. Easement for utilities and drainage as shown on the recorded plat of Walter Dehn Commerce Center 3rd Addition. Partially vacated by Resolution No. 2004-43 adopted May 11, 2004, filed February 27, 2007, as Document Nos. 8943294 (Abstract) and 4361636 (Torrens). **Affects the surveyed property. Easement(s) are shown on the survey**.

10. Easement for public sanitary sewer, water main and other public utilities and storm sewer and drainage facilities purposes, in favor of the City of Rogers, a Minnesota municipal corporation, contained in Utility Easement dated April 30, 1996, filed February 21, 1997, as Document No. 6702455. **Does not affect the surveyed property. Easement(s) are shown on the survey**.

11. Trail easement for pedestrian recreational purposes, in favor of the City of Rogers, a Minnesota municipal corporation, contained in Trustee's Deed filed February 23, 2009, as Document No. A9321266. (NOTE: Date and acknowledgment date missing from recorded document)
NOTE: A Certificate of Trust for Dehn Family Revocable Trust dated December 30, 1991 was filed February 23, 2009, as Document No. A9321267. An Affidavit of Trustee must accompany documents executed by a Trustee of a Trust. Obtain an executed and recordable Affidavit of Trustee regardin the above conveyance. **Affects the surveyed property. Easement(s) are shown on the survey**.

12. Terms, conditions, covenants and restrictions contained in Declaration of Use Restriction, Restrictive Covenant and Right of First Refusal dated February 20, 2009, filed February 23, 2009, as Document No. A9321270.
NOTE: Right of First Refusal in favor of Rogers Hospitality, LLC, a Minnesota limited liability company, covers Lot 1, Block 1, Walter Dehn Commerce Center 6th Addition only. **Affects the surveyed property.**

13. Terms, conditions and obligations contained in Developer's Agreement dated February 20, 2009, filed February 23, 2009, as Document No. A9321271. **Affects the surveyed property.**

14. Terms, conditions, covenants and restrictions contained in Declaration of Use Restriction, Restrictive Covenant and Right of First Refusal dated March 13, 2017, filed March 23, 2017, as Document No. A10423862.
NOTE: A description of the Right of First Refusal is not contained within the body of the above mentioned document. **Affects the surveyed property.**

15. A Certificate of Trust for Dehn Family Revocable Trust dated December 30, 1991 was filed February 23, 2009, as Document No. A9321267. An Affidavit of Trustee must accompany the documents to be executed by the Trustee. **Affects the surveyed property.**

"TABLE A" NOTES

1. The surveyor has depicted the property corner monuments, or the witness to the corner that were found during the field work, and set property corner monuments, or witnesses to the corner, at the locations where there did not appear to be any evidence of an existing monument.

2. The property address is shown on the graphical portion of the survey.

3. The subject property lies within Flood Plain Zone X – 'Areas determined to be outside the 0.2% annual chance floodplain', as depicted by scaled map location and graphic plotting according to FEMA, FIRM Map No. 27053C0033F dated 11/04/2016.

4. The gross land area of the subject property is 2.30 Acres or 100,219 Square Feet.

6B. No Zoning letter or report provided to Surveyor.

8. Visible substantial features observed in the process of conducting the fieldwork are shown hereon.

10a. There were no division or party walls designated by the client to be shown on the survey.

11. A Gopher State One Call (GSOC) request was placed on 6/27/2018 for utility locates on this site and assigned GSOC Ticket No. 181781542. The surveyor makes no guarantees that the underground utilities shown hereon comprise all such utilities in the area, either in service or abandoned. Utility suppliers often do not respond to these requests in the field but may provide maps, plans, and drawings in lieu of physical location. Utility information shown hereon is a compilation of the provided map information and those visible utilities and marked utilities which were located during the survey field work. The surveyor further does not warrant that the underground utilities shown hereon are in the exact location as indicated, although they are located as accurately as possible from the available information. The surveyor has not physically located the underground utilities. Pursuant to MS 216.D contact Gopher State One Call at (651-454-0002) prior to any excavation.

13. The names of adjoining land owners according to the current county tax records are shown on the survey.

14. The distance to the nearest intersecting street is shown hereon.

16. There is no evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork.

17. No changes in street right of ways are proposed. There is no observable evidence of recent street or sidewalk construction or repair.

20. Plottable off site easements and servitudes disclosed in the provided title documents and/or observed during the field work that appear to benefit and/or affect the subject property are shown hereon.

SURVEY NOTES

1. This survey was prepared utilizing the Commercial Partners Title llc., as Agent for Old Republic National Title Insurance Company Title Commitment No. 54417, bearing an effective date of 4/15/2018.

2. The bearing system is based on the Hennepin County coordinate system, NAD83 (1986 Adjust). With an assumed bearing of S00°28'59"E for the East line of the Southeast quarter , Section 14 , Township 120N , Range 23W . The originating monuments utilized to establish the horizontal position of this survey were the Northwest corner and the Northeast corner of said section.

3. The vertical datum is based on NAVD88 The originating bench marks are #1 and #2, both referenced from the MnDOT Geodetic Database.

BENCHMARK #1
Top nut hydrant at northwest corner of site, east side of Richard Street. Elev.=947.50

BENCHMARK #2
Top nut hydrant at north side of site, south of 135th Avenue N. Elev.=956.96

LEGEND

- FOUND MONUMENT
- SET MONUMENT MARKED LS 47481
- ELECTRIC METER
- LIGHT
- AIR CONDITIONER
- GUY ANCHOR
- HANDICAP STALL
- UTILITY POLE
- POST
- SIGN
- WATERMAIN
- SANITARY SEWER
- STORM SEWER
- FLARED END SECTION
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL
- GAS METER
- OVERHEAD WIRE
- CHAIN LINK FENCE
- IRON FENCE
- WIRE FENCE
- WOOD FENCE
- EASEMENT LINE
- SETBACK LINE
- RESTRICTED ACCESS
- CONCRETE CURB
- BUILDING LINE
- BUILDING CANOPY
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- LANDSCAPE SURFACE
- DECIDUOUS TREE
- CONIFEROUS TREE

UTILITY COMPANIES PER GOPHER TICKET

Code	Company Name	Marking Concerns	Damage	CustomerService
ACSMSP01	ARVIG	(218)346-5500	(218)346-5500	(218)346-8248
COMCST01	COMCAST	(800)762-0592	(651)493-5305	
CRGERS01	CITY OF ROGERS	(218)568-4744	(218)568-4744	(218)568-4744
CTLAN01	CENTURYLINK - CTLQL	(800)283-4237	(800)283-4237	(800)283-4237
CTYLTS01	CITILITES	(218)568-4744		
ENVTEL04	CONSOLIDATED COMMUNICATIONS I	(800)778-9140	(888)608-7822	(507)387-1858
MINGAS03	CENTER POINT ENERGY	(800)778-9140	(612)321-5200	
MNSDOT01	MNDOT	(651)366-5750	(651)297-2996	(651)297-2996
WLMTCM01	LEVEL 3 COMMUNICATIONS	(877)366-8344	(877)366-8344	(877)366-8344
XCEL04	XCEL ENERGY	(800)848-7558	(888)968-9235	(800)895-4999
ZAYO04	ZAYO BANDWIDTH	(888)267-1063	(888)267-1063	(888)364-6033

CERTIFICATION

To Casco & R5, Primrose School Franchising Company, a Georgia Corporation, U.S. Small Business Association, Commercial Partners Title LLC, Old Republic National Title Insurance Company :

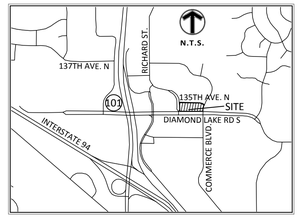
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 8, 9, 10A, 11, 13, 14, 16, 17, & 20 of Table A thereof. The field work was completed on 7/05/2018.

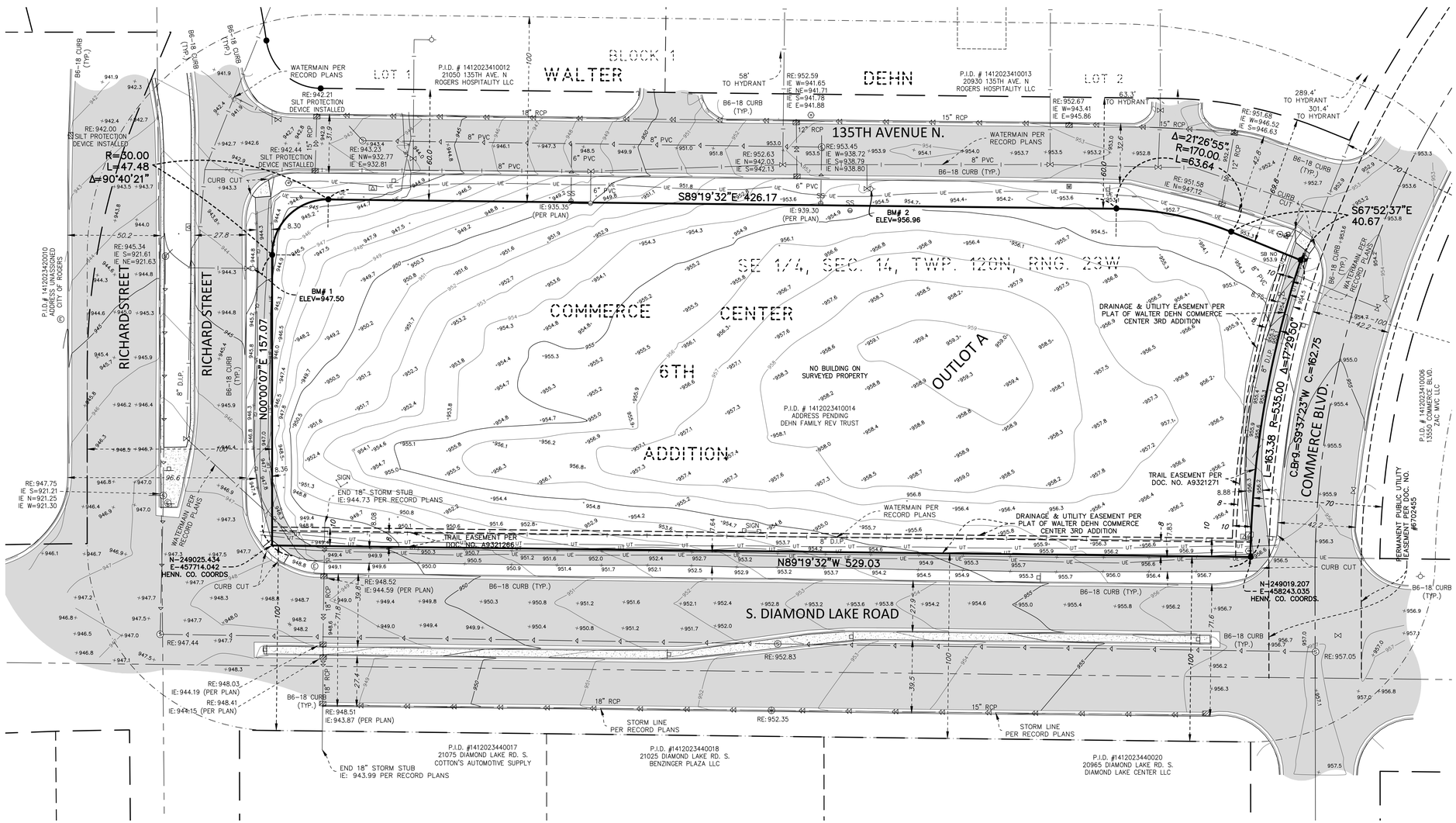
Dated this 8th day of August, 2018.

Sambatek, Inc.

Craig E. Johnson, LS
Minnesota License No. 44530
cjohnson@sambatek.com

VICINITY MAP





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763.476.6010 telephone
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Engineering | Surveying | Planning | Environmental

Client

PRIMROSE SCHOOLS FRANCHISING COMPANY

3660 CEDARCREST ROAD
ACWORTH, GEORGIA 30101

Project

PRIMROSE SCHOOL OF ROGERS

Location

ROGERS, MN

Summary

Designed: Drawn:
Approved: Book / Page:
Phase: Initial Issued:

Revision History

No.	Date	By	Submittal / Revision

Sheet Title
EXISTING CONDITIONS

Sheet No. Revision
C2.01

Project No. 21267

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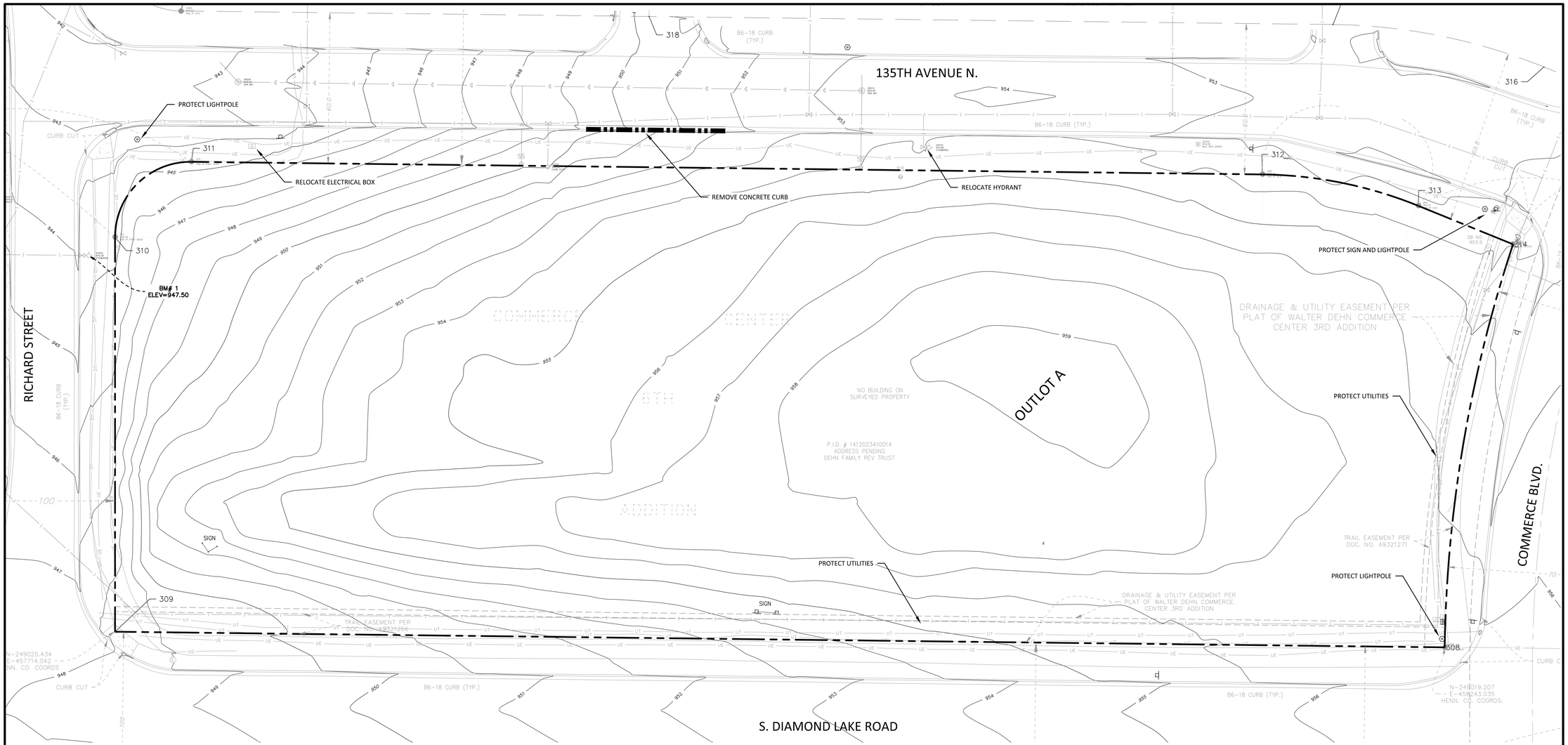

LEGEND

	EXISTING
GAS METER	
HYDRANT	
LIGHT	
STORM SEWER	
DRAIN TILE	
WATERMAIN	
FORCE MAIN	
SANITARY SEWER	
OVERHEAD ELECTRIC	OE
UNDERGROUND TELEPHONE	UT
UNDERGROUND CABLE TV	UC
UNDERGROUND ELECTRIC	UE
UNDERGROUND GAS	UG
WIRE FENCE	
IRON FENCE	
WOOD FENCE	
CHAIN LINK FENCE	
STONE RETAINING WALL	
SPRINKLER HEAD	SH
SPRINKLER VALVE	SV
GUARD RAIL	
HANDRAIL	
EDGE OF TREES	
TREES / SHRUBS	
CONCRETE	

GUARD POLES	
SIGNS	
CONCRETE CURB	
BITUMINOUS CURB	
BUILDING	
REMOVE EXISTING UTILITY LINE	
REMOVE EXIST CONCRETE CURB	
SAW CUT EXIST BITUMINOUS PAVEMENT	
REMOVE EXISTING BITUMINOUS PAVEMENT	
REMOVE EXISTING CONCRETE PAVEMENT	
REMOVE EXISTING BUILDING	
REMOVE EXISTING GRAVEL DRIVE	
REMOVE EXISTING LANDSCAPING	
REMOVE EXISTING TREE	
REMOVE EXISTING	
REMOVE EXISTING UTILITY	
REMOVE EXISTING CHAIN LINK FENCE	
REMOVE EXISTING LIGHT FIXTURE	

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DEMOLITION NOTES

1. DEMOLITION NOTES ARE NOT COMPREHENSIVE. CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION TO OBTAIN A CLEAR UNDERSTANDING OF THE INTENDED SCOPE OF WORK.
2. THE DESIGN SHOWN IS BASED ON ENGINEER'S UNDERSTANDING OF EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON ALTA AND TOPOGRAPHIC MAPPING PREPARED BY SAMBATEK DATED 8-8-2018. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, CONTRACTOR SHALL HAVE MADE, AT OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES AND IN ACCORDANCE WITH APPLICABLE CODES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL REPORT AND/OR GEOTECHNICAL ENGINEER.
4. CLEARING AND GRUBBING: CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
6. CONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
7. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES AND ANY FEES WHICH ARE TO BE PAID TO UTILITY COMPANIES FOR SERVICES. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
8. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITY MAPPING ACCURACY. PRIOR TO START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION FOR ON-SITE LOCATIONS OF EXISTING UTILITIES. THE LOCATIONS OF UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING MINNESOTA GOPHER STATE ONE CALL AT 800-252-1166 OR 651-454-0002.
9. THE MAPPING LOCATION OF ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED SHALL BE REMOVED IF UNDER THE BUILDING INCLUDING 10' BEYOND FOUNDATIONS.
10. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
11. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES.
12. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
13. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED AND APPROVED BY THE LOCAL AUTHORITY.
14. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
15. CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
16. ABANDON OR REMOVE ALL SANITARY, WATER AND STORM SERVICES PER CITY STANDARDS. COORDINATE ALL WORK WITH CITY. ALL STREET RESTORATION SHALL BE COMPLETED IN COMPLIANCE WITH LOCAL STANDARDS.
17. CONTRACTOR SHALL PREPARE AND SUBMIT TO THE GOVERNING AUTHORITY A TRAFFIC AND/OR PEDESTRIAN TRAFFIC PLAN PER CITY/COUNTY/STATE STANDARDS TO BE APPROVED BY THE LOCAL GOVERNING AUTHORITY.

NORTH

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Client

PRIMROSE SCHOOLS FRANCHISING COMPANY

3660 CEDARCREST ROAD
ACWORTH, GEORGIA 30101

Project

PRIMROSE SCHOOL OF ROGERS

Location

ROGERS, MN

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

PRELIMINARY

George D. Alexander
Registration No. 43505 Date: 9/5/2018

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: GDA Drawn: MLL
Approved: GDA Book / Page:
Phase: PRELIM Initial Issued: 9/5/2018

Revision History

No.	Date	By	Submittal / Revision
	9/5/18		PRELIMINARY
	10/11/18		RESPONSE TO CITY REVIEW

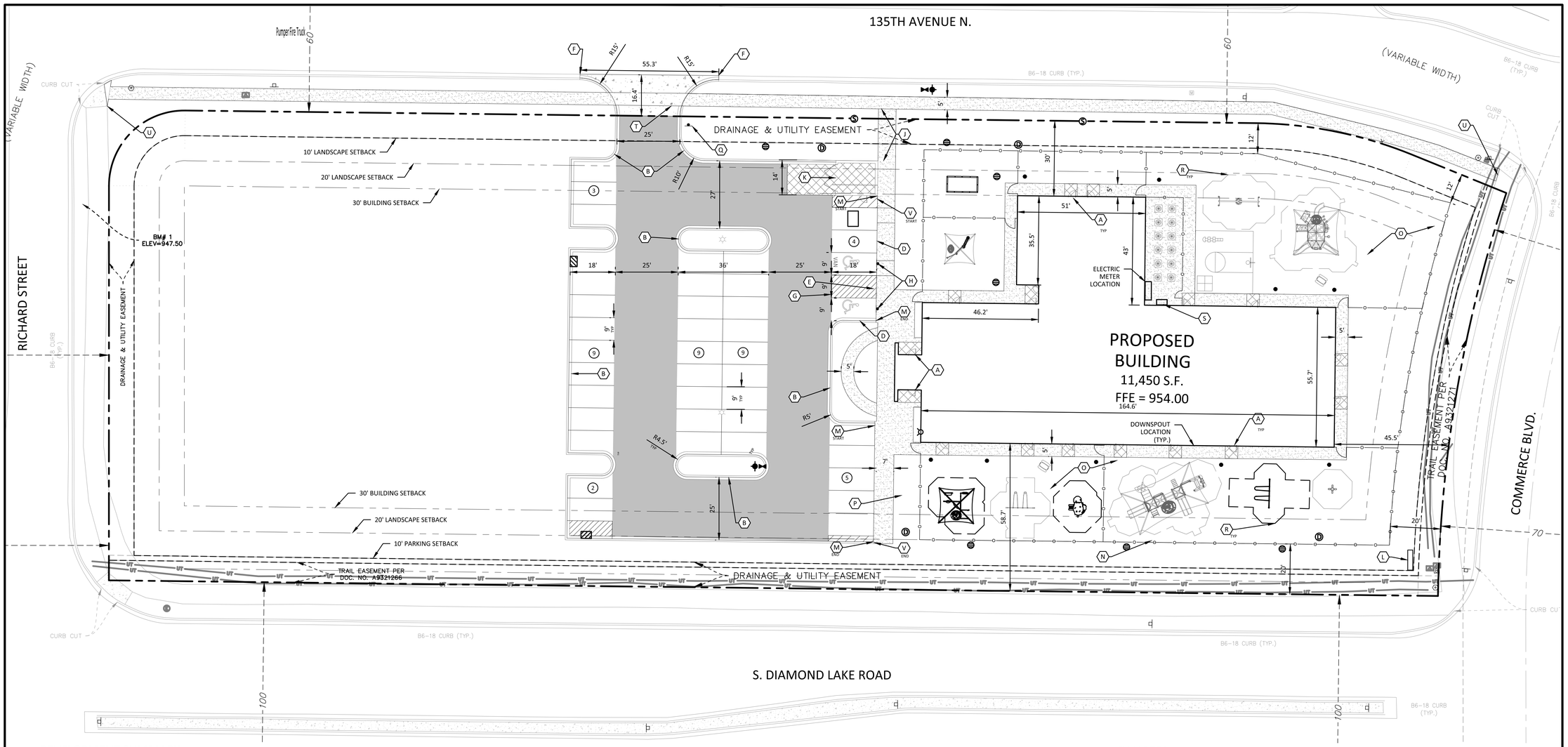
Sheet Title

DEMOLITION PLAN

Sheet No. Revision

C2.02

Project No. 21267



DEVELOPMENT SUMMARY

AREA		
GROSS SITE AREA	100,254 SF	2.30 AC
BUILDING AREA	11,450 SF	.26 AC
PARKING/SIDEWALK (HARDSCAPE)	22,676 SF	.41 AC
TOTAL IMPERVIOUS SURFACE	12,389 SF	.36 AC
X-GRASS	34,126 SF	.84 AC
SETBACKS		
FRONT YARD		30 FEET
REAR YARD		10 FEET
INTERIOR SIDE YARD		30 FEET
PARKING-SIDE/REAR		10 FEET
PARKING-ROAD		10 FEET
LANDSCAPE SETBACK		20 FEET
ZONING		
EXISTING ZONING		B-1
PROPOSED ZONING		B-1
PARKING SUMMARY		
REQUIRED PARKING STALLS (1 PER 450 SF) = 11,450 / 450		26 STALLS
PROVIDED ACCESSIBLE		2 STALLS
PROVIDED STANDARD		39 STALLS
TOTAL PARKING PROVIDED		41 STALLS

LEGEND

	PROPOSED	EXISTING
PROPERTY LIMIT		
CURB & GUTTER		
EASEMENT		
BUILDING		
RETAINING WALL		
WETLAND LIMITS		WL
SIGN		
LIGHT POLE		
PIPE BOLLARD		
NUMBER OF PARKING STALLS PER ROW	XX	
KEY NOTE	XX	
CATCH BASIN		
HYDRANT		
GATE VALVE		
MANHOLE		

STANDARD DUTY ASPHALT PAVING
HEAVY DUTY ASPHALT PAVING
CONCRETE PAVING
CONCRETE SIDEWALK
ARCHITECTURAL CONCRETE

DEVELOPMENT NOTES

1. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
2. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
4. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
5. ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
7. SEE ARCHITECTURAL PLANS FOR PYLON SIGN DETAILS
8. SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
9. ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.

KEY NOTES

A. BUILDING, STOOPS SEE ARCHITECTURAL PLANS
B. B-612 CONCRETE CURB AND GUTTER
C. B-618 6CONCRETE CURB AND GUTTER
D. CONCRETE CURB TRANSITION
E. FLAT CURB SECTION
F. TRANSITION CURB TO MATCH EXISTING
G. ACCESSIBLE STALL STRIPING
H. ACCESSIBLE PARKING SIGN
I. ELECTRICAL TRANSFORMER
J. CONCRETE SIDEWALK
K. TRASH ENCLOSURE
L. MONUMENT SIGN
M. INTEGRAL CURB
N. DECORATIVE FENCE/ GATES (SEE ARCHITECTURAL DETAILS)
O. X-GRASS ARTIFICIAL TURF
P. FLAGPOLE (SEE ARCHITECTURAL DETAILS)
Q. STOP SIGN
R. PLAYGROUND EQUIPMENT (SEE ARCHITECTURAL PLANS)
S. NATURAL GAS METER
T. CITY STANDARD DRIVEWAY ENTRANCE WITH SIDEWALK
U. MEET AND MATCH EXISTING SIDEWALK
V. GUTTER OUT CURB

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL . THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NORTH
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3660 CEDARCREST ROAD
ACWORTH, GEORGIA 30101

Project

PRIMROSE SCHOOL OF ROGERS

Location

ROGERS, MN

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

PRELIMINARY

George D. Aberson
Registration No. 43505 Date: 9/5/2018

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: GDA Drawn: MLL
Approved: GDA Book / Page:
Phase: PRELIM Initial Issued: 9/5/2018

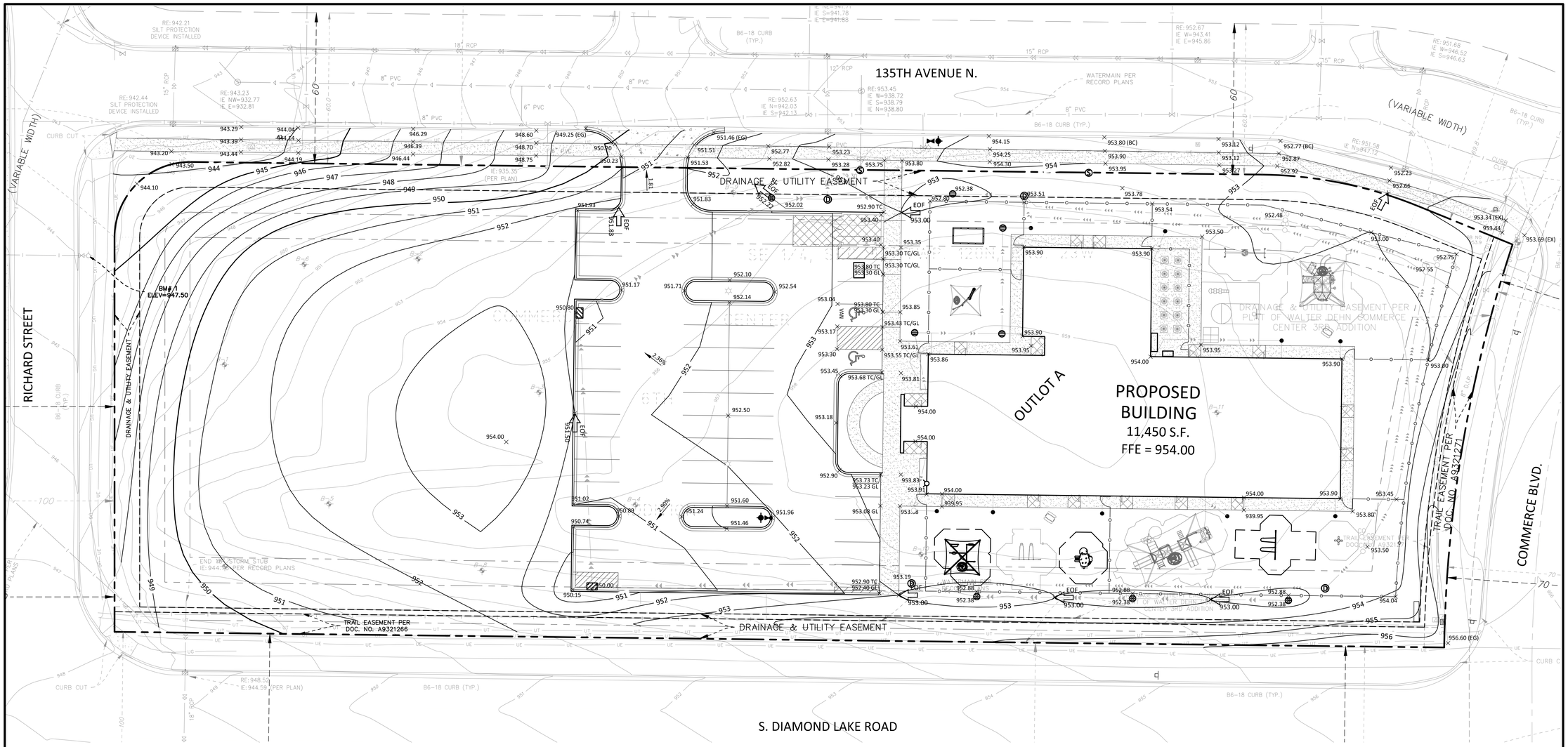
Revision History

No.	Date	By	Submittal / Revision
	9/5/18		PRELIMINARY
	10/11/18		RESPONSE TO CITY REVIEW

Sheet Title
SITE PLAN

Sheet No. Revision
C3.01

Project No. 21267



LEGEND

	PROPOSED	EXISTING
PROPERTY LIMIT		
CURB & GUTTER		
STORM SEWER		
DRAINTILE		
BUILDING		
RETAINING WALL		
WETLAND LIMITS		WL
TREELINE		
SPOT ELEVATION	902.5 x	902.5 x
CONTOUR	902	902
RIP RAP		
OVERFLOW ELEV.	EOF 902.5	ST 5 902.5
SOIL BORINGS		

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL . THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

GRADING NOTES

1. PROPOSED CONTOURS ARE TO FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE GUTTER GRADE.

2. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB.

3. ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.08% (1:48). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.

4. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

5. SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.

6. CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.

   A GEOTECHNICAL ENGINEERING SOILS REPORT HAS BEEN COMPLETED BY:

   COMPANY: PROFESSIONAL SERVICE INDUSTRIES, INC.
   ADDRESS: 2915 WATERS ROAD, SUITE 112 EAGAN, MN 55121
   PHONE: 651-646-8148
   DATED: 7-26-2018

   CONTRACTOR SHALL OBTAIN A COPY OF THE SOILS REPORT.

7. CONTRACTOR SHALL COMPLETE DEWATERING AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION.

8. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL SHALL BE PERFORMED ON THE STREET AND PARKING AREA SUBGRADE. CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.

9. REPLACE ALL SUBGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT HAVE BECOME UNSUITABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSUITABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.

11. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.

12. TRENCH BORROW CONSTRUCTION: IF ALLOWED BY THE OWNER, CONTRACTOR SHALL COMPLETE "TRENCH BORROW" EXCAVATION IN AREAS DIRECTED BY THE ENGINEER IN ORDER TO OBTAIN STRUCTURAL MATERIAL. TREES SHALL NOT BE REMOVED OR DAMAGED AS A RESULT OF THE EXCAVATION, UNLESS APPROVED BY THE ENGINEER. THE EXCAVATION SHALL COMMENCE A MINIMUM OF 10 FEET FROM THE LIMIT OF THE BUILDING PAD. THE EXCAVATION FROM THIS LIMIT SHALL EXTEND AT A MINIMUM SLOPE OF 1 FOOT HORIZONTAL TO 1 FOOT VERTICAL (1:1) DOWNWARD AND OUTWARD FROM THE FINISHED SURFACE GRADE ELEVATION. THE TRENCH BORROW EXCAVATION SHALL BE BACKFILLED TO THE PROPOSED FINISHED GRADE ELEVATION, AND SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE QUALITY COMPACTION METHOD AS OUTLINED IN MN/DOT SPECIFICATION 2105.3F2. SNOW FENCE SHALL BE FURNISHED AND PLACED ALONG THE PERIMETER OF THE TRENCH BORROW AREA WHERE THE SLOPES EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1).

13. FINISHED GRADING SHALL BE COMPLETED, CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISHED GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED, ERODED OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.

14. TOLERANCES
    - 14.a. THE RESIDENTIAL BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
    - 14.b. THE COMMERCIAL BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.10 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
    - 14.c. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
    - 14.d. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.

15. AFTER THE SITE GRADING IS COMPLETED, IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.

16. CONTRACTOR SHALL DETERMINE THE LOCATION OF ANY HAUL ROADS THAT MAY BE REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION AND SHALL INDICATE HAUL ROADS ON EROSION AND SEDIMENT CONTROL "SITE MAP". CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY OF EACH ROADWAY. CONTRACTOR SHALL POST WHATEVER SECURITY, AND COMPLY WITH ALL CONDITIONS WHICH ARE REQUIRED BY EACH GOVERNING AUTHORITY OF EACH ROADWAY.

NORTH

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SCALE IN FEET

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Engineering | Surveying | Planning | Environmental

Client
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ACWORTH, GEORGIA 30101

Project
PRIMROSE SCHOOL OF ROGERS

Location
ROGERS, MN

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

PRELIMINARY

George D. Abrahamson
Registration No. 43505 Date: 9/5/2018

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Summary

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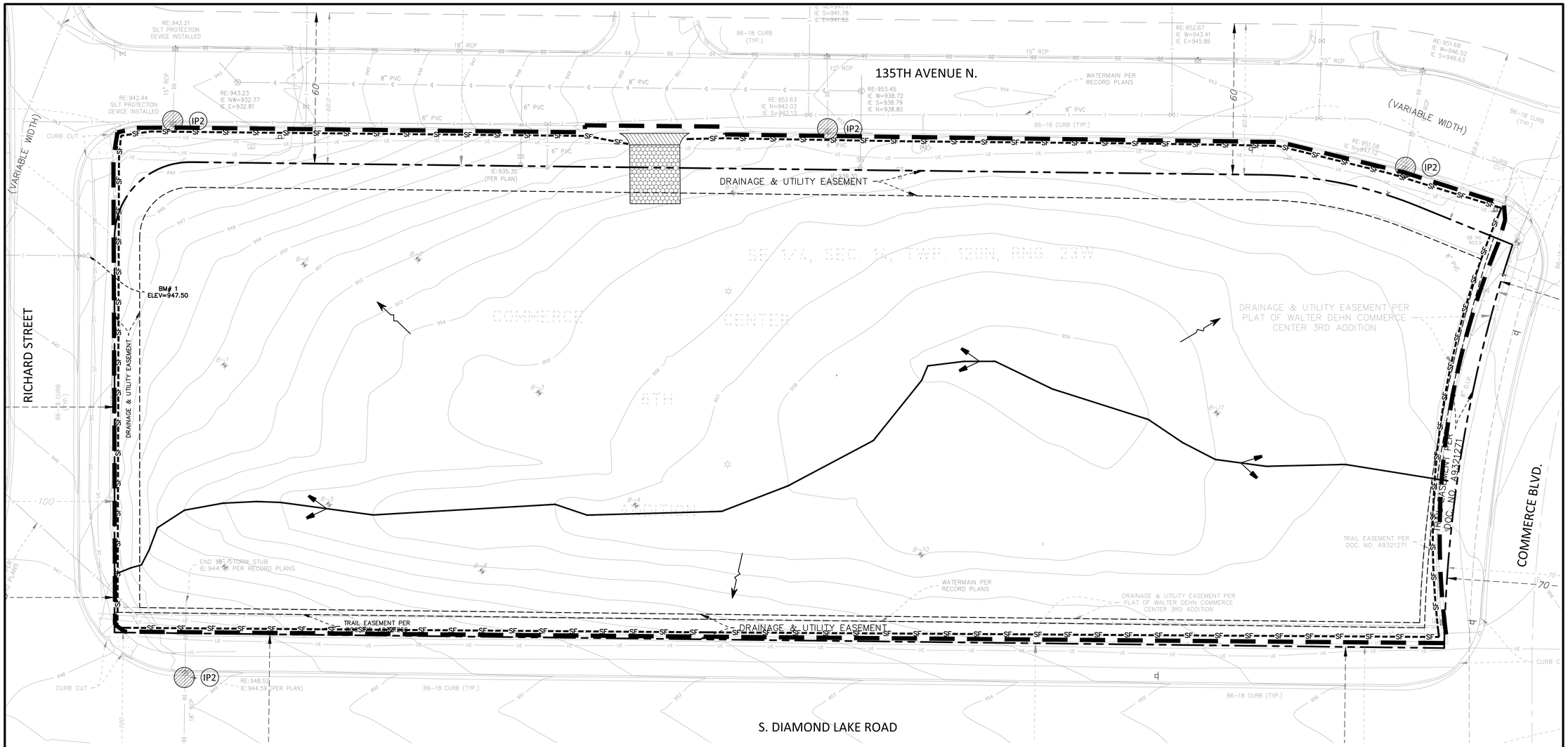
Revision History

No.	Date	By	Submittal / Revision
	9/5/18		PRELIMINARY
	10/11/18		RESPONSE TO CITY REVIEW

Sheet Title
GRADING PLAN

Sheet No. **Revision**
C4.01

Project No. 21267



LEGEND

	PROPOSED	EXISTING
CURB & GUTTER		
STORM SEWER		
DRAINTILE		
CONTOUR	902	902
RIP RAP		
OVERFLOW ELEV.	EOF 902.5	
SILT FENCE	SF	SF
SILT DIKE	SD	SD
LIMITS OF DISTURBANCE		
SOIL BORINGS		ST-5 902.5
DIRECTION OF OVERLAND FLOW		
TEMPORARY DIVERSION DITCH		
CHECK DAM		
LIMITS OF DRAINAGE SUB-BASIN		
BIO-ROLL		
INLET PROTECTION DEVICE 1	IP-1	
INLET PROTECTION DEVICE 2	IP-2	
TEMPORARY STONE CONSTRUCTION ENTRANCE		

TEMPORARY SEDIMENT BASIN — SB

TEMPORARY STORAGE AND PARKING AREA — TS

TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP) — TSM

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL . THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTE TO CONTRACTOR

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA, THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPS DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

EROSION CONTROL MATERIALS QUANTITIES

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	1428
SILT DIKE	LINEAR FEET	0
BIO-ROLL	LINEAR FEET	0
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	0
INLET PROTECTION DEVICE (IP-2)	UNIT	4

* REFER TO SHEET C5.03 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN
TEMPORARY CONTROL MEASURES																		
STRIP & STOCKPILE TOPSOIL																		
ROUGH GRADE / SEDIMENT CONTROL																		
TEMPORARY CONSTRUCTION ROADS																		
FOUNDATION / BUILDING CONSTRUCTION																		
SITE CONSTRUCTION																		
PERMANENT CONTROL STRUCTURES																		
FINISH GRADING																		
LANDSCAPING / SEED / FINAL STABILIZATION																		
STORM FACILITIES																		

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

NORTH

0 20 40
SCALE IN FEET

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Engineering | Surveying | Planning | Environmental

Client

PRIMROSE SCHOOLS FRANCHISING COMPANY

3660 CEDARCREST ROAD
ACWORTH, GEORGIA 30101

Project

PRIMROSE SCHOOL OF ROGERS

Location

ROGERS, MN

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

PRELIMINARY

George D. Alexander
Registration No. 43505 Date: 9/5/2018

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: GDA Drawn: MLL
Approved: GDA Book / Page:
Phase: PRELIM Initial Issued: 9/5/2018

Revision History

No.	Date	By	Submittal / Revision
	9/5/18		PRELIMINARY
	10/11/18		RESPONSE TO CITY REVIEW

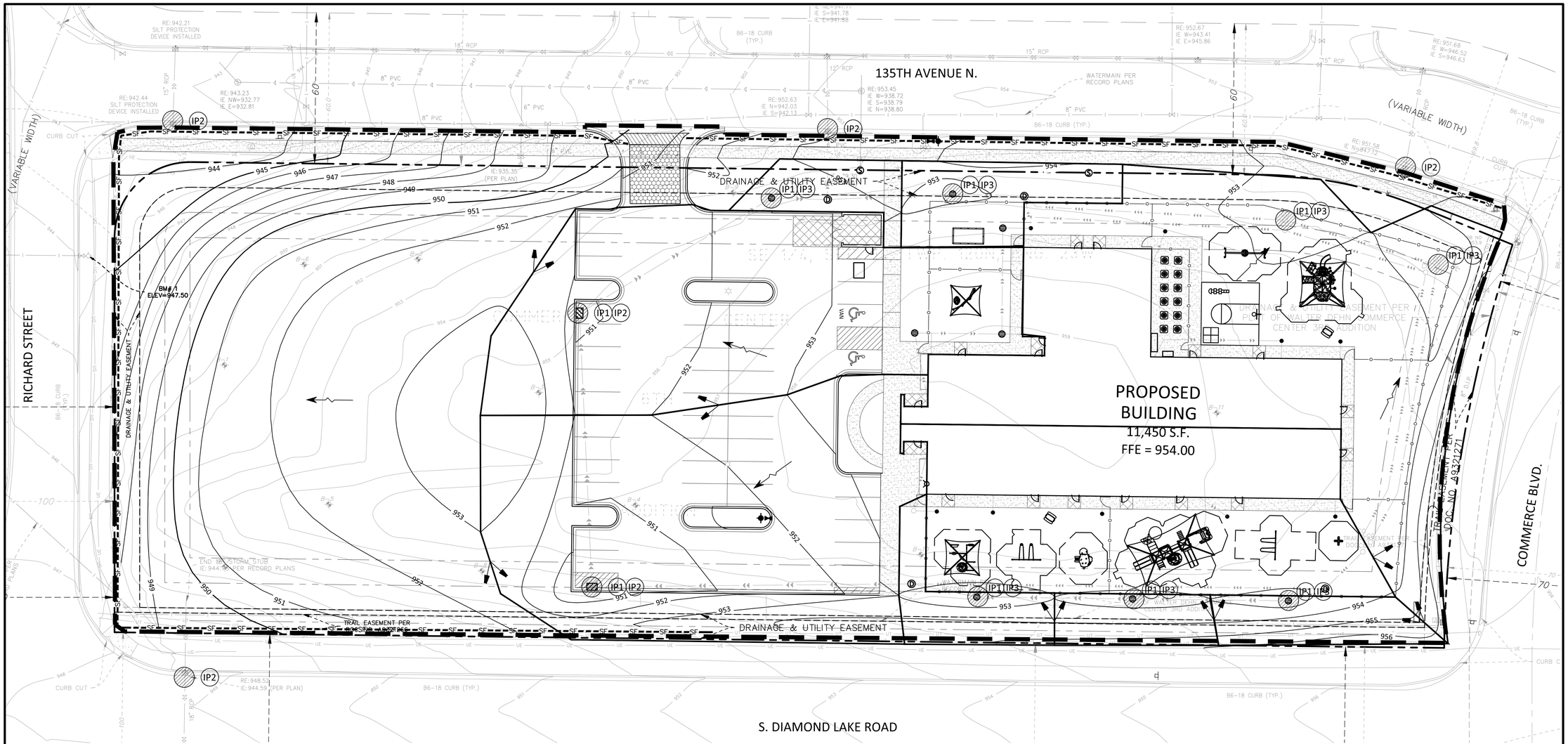
Sheet Title

EROSION CONTROL PLANS PHASE 1

Sheet No. Revision

C5.01

Project No. 21267



LEGEND

	PROPOSED	EXISTING
CURB & GUTTER		
STORM SEWER		
DRAINTILE		
CONTOUR	902	902
RIP RAP		
OVERFLOW ELEV.	EOF 902.5	
SILT FENCE	SF	SF
SILT DIKE	SD	SD
LIMITS OF DISTURBANCE		
SOIL BORINGS		ST 5 902.5
DIRECTION OF OVERLAND FLOW		
TEMPORARY DIVERSION DITCH		
CHECK DAM		
LIMITS OF DRAINAGE SUB-BASIN		
BIO-ROLL		
INLET PROTECTION DEVICE 1	IP-1	
INLET PROTECTION DEVICE 2	IP-2	
INLET PROTECTION DEVICE 3	IP-3	
TEMPORARY STONE CONSTRUCTION ENTRANCE		

TEMPORARY SEDIMENT BASIN	SB
TEMPORARY STORAGE AND PARKING AREA	TS
TEMPORARY STABILIZATION MEASURES (SEED, MULCH, MATS OR BLANKETS AS OUTLINED IN THE SWPPP)	TSM

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL . THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/C 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NOTE TO CONTRACTOR

THE EROSION CONTROL PLAN SHEETS ALONG WITH THE REST OF THE SWPPP MUST BE KEPT ONSITE UNTIL THE NOTICE OF TERMINATION IS FILED WITH THE MPCA, THE CONTRACTOR MUST UPDATE THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS AS NECESSARY TO INCLUDE ADDITIONAL REQUIREMENTS, SUCH AS ADDITIONAL OR MODIFIED BMPS DESIGNED TO CORRECT PROBLEMS IDENTIFIED. AFTER FILING THE NOTICE OF TERMINATION, THE SWPPP, INCLUDING THE EROSION CONTROL PLAN SHEETS, AND ALL REVISIONS TO IT MUST BE SUBMITTED TO THE OWNER, TO BE KEPT ON FILE IN ACCORDANCE WITH THE RECORD RETENTION REQUIREMENTS DESCRIBED IN THE SWPPP NARRATIVE.

EROSION CONTROL MATERIALS QUANTITIES

ITEM	UNIT	QUANTITY
SILT FENCE	LINEAR FEET	952
SILT DIKE	LINEAR FEET	20
BIO-ROLL	LINEAR FEET	0
CONSTRUCTION ENTRANCE	UNIT	1
INLET PROTECTION DEVICE (IP-1)	UNIT	9
INLET PROTECTION DEVICE (IP-2)	UNIT	6
INLET PROTECTION DEVICE (IP-3)	UNIT	7

* REFER TO SHEET C5.03 FOR GENERAL NOTES, MAINTENANCE NOTES, LOCATION MAPS, AND STANDARD DETAILS

SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN
TEMPORARY CONTROL MEASURES																		
STRIP & STOCKPILE TOPSOIL																		
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LANDSCAPING / SEED / FINAL STABILIZATION																		
STORM FACILITIES																		

NOTE: CONTRACTOR OR GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

NORTH

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Location

ROGERS, MN

Certification

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PRELIMINARY

George D. Abrahamson
Registration No. 43505 Date: 9/5/2018

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: GDA Drawn: MLL
Approved: GDA Book / Page:
Phase: PRELIM Initial Issued: 9/5/2018

Revision History

No.	Date	By	Submittal / Revision
	9/5/18		PRELIMINARY
	10/11/18		RESPONSE TO CITY REVIEW

Sheet Title

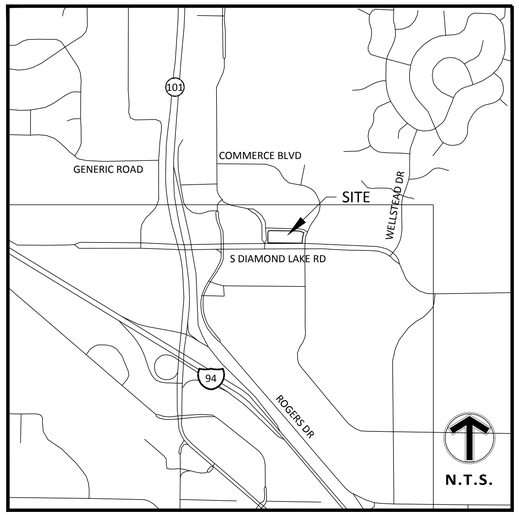
EROSION CONTROL PLAN PHASE 2

Sheet No. Revision

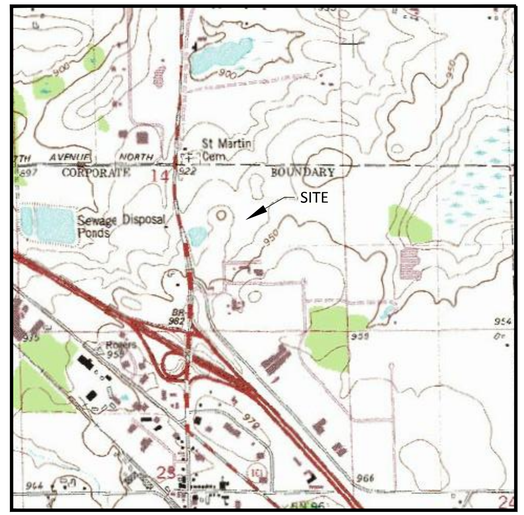
C5.02

Project No. 21267

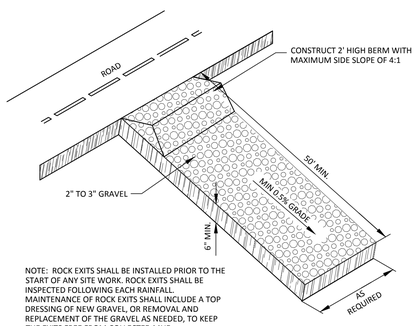
EROSION & SEDIMENTATION CONTROL NOTES & DETAILS / "SITE MAP"



SITE LOCATION MAP
NOT TO SCALE

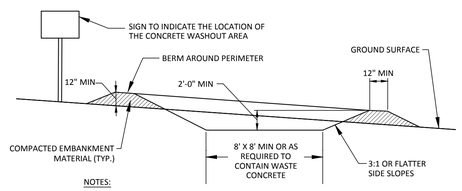


USGS MAP
NOT TO SCALE



NOTE: ROCK EXITS SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE WORK. ROCK EXITS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. MAINTENANCE OF ROCK EXITS SHALL INCLUDE A TOP DRESSING OF NEW GRAVEL, OR REMOVAL AND REPLACEMENT OF THE GRAVEL AS NEEDED, TO KEEP THE EXITS FREE FROM COLLECTED MUD.

ROCK EXIT DRIVE
NOT TO SCALE



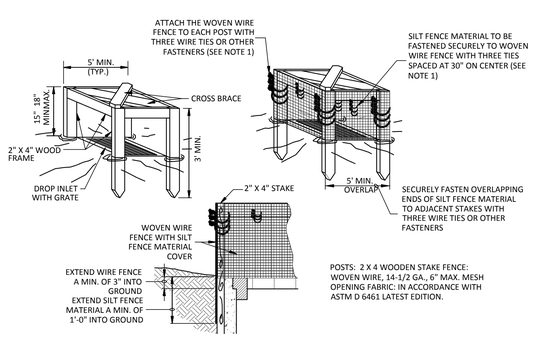
NOTES:

1. CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. CONCRETE WASHOUT AREA SHALL BE LINED WITH MINIMUM 10 MIL THICK PLASTIC LINER.
3. VEHICLE TRACKING CONTROL IS REQUIRED IF ACCESS TO CONCRETE WASHOUT AREA IS OFF PAVEMENT.
4. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
5. THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
6. AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
7. WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY.

CONCRETE WASHOUT AREA
NOT TO SCALE

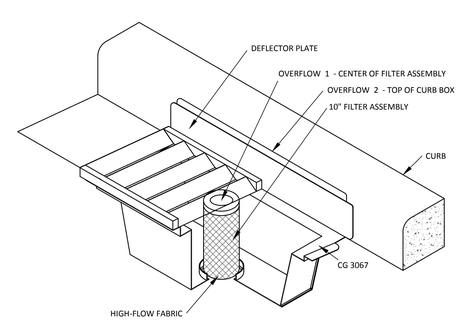
AREA SUMMARY IN ACRES

PAVEMENT AREA	0.52 AC±
BUILDING AREA	0.26 AC±
SEEDED AREA	1.23 AC±
TOTAL DISTURBED	2.44 AC±
PRE - CONSTRUCTION IMPERVIOUS	0.00 AC±
POST - CONSTRUCTION IMPERVIOUS	0.78 AC±



1. ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS, ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART.
2. WHEN TWO SECTIONS OF SILT FENCE MATERIAL ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED ACROSS TWO POSTS.
3. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ONE-HALF THE HEIGHT OF THE FABRIC. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ONE-HALF THE HEIGHT OF THE SILT FENCE MATERIAL ABOVE GRADE.
4. ALL SILT FENCE INLETS SHALL INCLUDE WIRE SUPPORT.

SILT FENCE INLET PROTECTION (IP-1)
NOT TO SCALE



ROAD DRAIN CASTING APPLICABILTY

- NEENAH R-3067
- NEENAH R-3512

ROAD DRAIN INLET PROTECTION (IP-2)
NOT TO SCALE

DEVELOPER/OWNER:
PRIMROSE SCHOOLS FRANCHISING COMPANY 3660 CEDARCREST ROAD ACWORTH, GA 30101 770-310-8755
SITE OPERATOR / GENERAL CONTRACTOR
SUPERINTENDENT:

GENERAL EROSION NOTES:

1. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME. WHERE A CONFLICT EXISTS BETWEEN LOCAL JURISDICTIONAL STANDARD SPECIFICATIONS AND SAMBATEK STANDARD SPECIFICATIONS, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
2. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING (EROSION & SEDIMENTATION CONTROL PLAN-ESC PLAN), THE STANDARD DETAILS, THE PLAN NARRATIVE, AND ITS APPENDICES, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING & SUBMITTING THE APPLICATION FOR THE MPCA GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE SWPPP AND THE STATE OF MINNESOTA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THE CONTENTS. THE SWPPP AND ALL OTHER RELATED DOCUMENTS MUST BE KEPT AT THE SITE DURING CONSTRUCTION.
4. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE SWPPP & PERMITS. CONTRACTOR SHALL OVERSEE THE INSPECTION & MAINTENANCE OF THE BMP'S AND EROSION PREVENTION FROM BEGINNING OF CONSTRUCTION AND UNTIL CONSTRUCTION IS COMPLETED, IS APPROVED BY ALL AUTHORITIES, AND THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA BY EITHER THE OWNER OR OPERATOR AS APPROVED ON PERMIT. ADDITIONAL BMP'S SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
5. CONTRACTOR SHALL COMPLY WITH TRAINING REQUIREMENTS IN PART III.A.2 OF THE GENERAL PERMIT.
6. BMP'S AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
7. ESC PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
8. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THE ESC PLANS SHALL BE CLEARLY DELINEATED (E.G. WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.) ON THE DEVELOPMENT SITE BEFORE WORK BEGINS. GROUND DISTURBING ACTIVITIES MUST NOT OCCUR OUTSIDE THE LIMITS OF DISTURBANCE.
9. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
10. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) MUST BE LIMITED TO A DEFINED AREA OF THE SITE AND SHALL BE CONTAINED AND PROPERLY TREATED OR DISPOSED. NO ENGINE DEGREASING IS ALLOWED ON SITE.
11. ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER IS NOT ACCEPTABLE. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED OF PROPERLY AND IN COMPLIANCE WITH MPCA REGULATIONS. A SIGN MUST BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. SELF-CONTAINED CONCRETE WASHOUTS ON CONCRETE DELIVERY TRUCKS ARE ALLOWED.
12. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
13. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
14. SOLID WASTE: COLLECTED SEDIMENT, ASPHALT & CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION & DEMOLITION DEBRIS & OTHER WASTES MUST BE DISPOSED OF PROPERLY & MUST COMPLY WITH MPCA DISPOSAL REQUIREMENTS.
15. HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT & ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE & DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH MPCA REGULATIONS.
16. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE SWPPP, SHALL BE INITIATED AS SOON AS PRACTICABLE AND PRIOR TO SOIL DISTURBING ACTIVITIES UPSLOPE.
17. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED SHALL BE TEMPORARILY SEEDED, WITHIN 14 DAYS OF INACTIVITY. SEEDING SHALL BE IN ACCORDANCE WITH MN/DOT SEED MIXTURE NUMBER 21-111 OR 21-112 DEPENDING ON THE SEASON OF PLANTING (SEE MN/DOT SPECIFICATION SECTION 2575.3) SEEDING MITHOD AND APPLICATION RATE SHALL CONFORM TO MN/DOT SPECIFICATION SECTION 2575.3. TEMPORARY MULCH SHALL BE APPLIED IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3F1 AND 2575.3G. ALTERNATIVELY, HYDRAULIC SOIL STABILIZER IN ACCORDANCE WITH MN/DOT SPECIFICATION SECTION 2575.3H MAY BE USED IN PLACE OF TEMPORARY MULCH.
18. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE TIME TABLE DESCRIBED ABOVE. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN FOR VEGETATIVE COVER.
19. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM CONVEYANCES & FROM TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. SEDIMENT MUST BE STABILIZED TO PREVENT IT FROM BEING WASHED BACK INTO THE BASIN, CONVEYANCES, OR DRAINAGEWAYS DISCHARGING OFF-SITE OR TO SURFACE WATERS. THE CLEANOUT OF PERMANENT BASINS MUST BE SUFFICIENT TO RETURN THE BASIN TO DESIGN CAPACITY.
20. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BMP'S. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
21. TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS & CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB & GUTTER SYSTEMS OR CONDUITS & DITCHES.
22. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
23. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, CHECK DAMS, INLET PROTECTION DEVICES, ETC.) TO PREVENT EROSION.
24. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE NOTES:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION ON SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. ALL SILT FENCES MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/3 OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.
2. TEMPORARY AND PERMANENT SEDIMENTATION BASINS MUST BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS (SEE PART IV.D. OF THE GENERAL PERMIT).
3. SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS, MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT BEING DEPOSITED BY EROSION. CONTRACTOR MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. THE REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. CONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) CALENDAR DAYS OF OBTAINING ACCESS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK.
4. CONSTRUCTION SITE VEHICLE EXIT LOCATIONS MUST BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING ONTO PAVED SURFACES. TRACKED SEDIMENT MUST BE REMOVED FROM ALL OFF-SITE PAVED SURFACES, WITHIN 24 HOURS OF DISCOVERY, OR IF APPLICABLE, WITHIN A SHORTER TIME TO COMPLY WITH PART IV.C.6 OF THE GENERAL PERMIT.
5. CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMPS, AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS, FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE. THE PERMITTEE(S) ARE RESPONSIBLE UNTIL ANOTHER PERMITTEE HAS ASSUMED CONTROL (ACCORDING TO PART II.B.5 OF THE MPCA GENERAL PERMIT) OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED OR THE SITE HAS UNDERGONE FINAL STABILIZATION, AND A (N.O.T.) HAS BEEN SUBMITTED TO THE MPCA.
6. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANNER AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS (E.G., FUGITIVE SEDIMENT IN STREETS COULD BE WASHED INTO STORM SEWERS BY THE NEXT RAIN AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS).
7. ALL INFILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITIES IS REACHING THE INFILTRATION AREA AND THESE AREAS ARE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE INFILTRATION AREA.

SEQUENCE OF CONSTRUCTION

PHASE I:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS.
5. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
6. CLEAR AND GRUB THE SITE.
7. BEGIN GRADING THE SITE.
8. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

PHASE II:

1. TEMPORARILY SEED DENUDED AREAS.
2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
5. PREPARE SITE FOR PAVING.
6. PAVE SITE.
7. INSTALL INLET PROTECTION DEVICES.
8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT

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763.476.8532 facsimile
Engineering | Surveying | Planning | Environmental

Client

PRIMROSE SCHOOLS FRANCHISING COMPANY

3660 CEDARCREST ROAD
ACWORTH, GEORGIA 30101

Project

PRIMROSE SCHOOL OF ROGERS

Location

ROGERS, MN

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

PRELIMINARY

George D. Abraham
Registration No. 43505 Date: 9/5/2018

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

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Approved: GDA Book / Page:
Phase: PRELIM Initial Issued: 9/5/2018

Revision History

No.	Date	By	Submittal / Revision
	9/5/18		PRELIMINARY
	10/11/18		RESPONSE TO CITY REVIEW

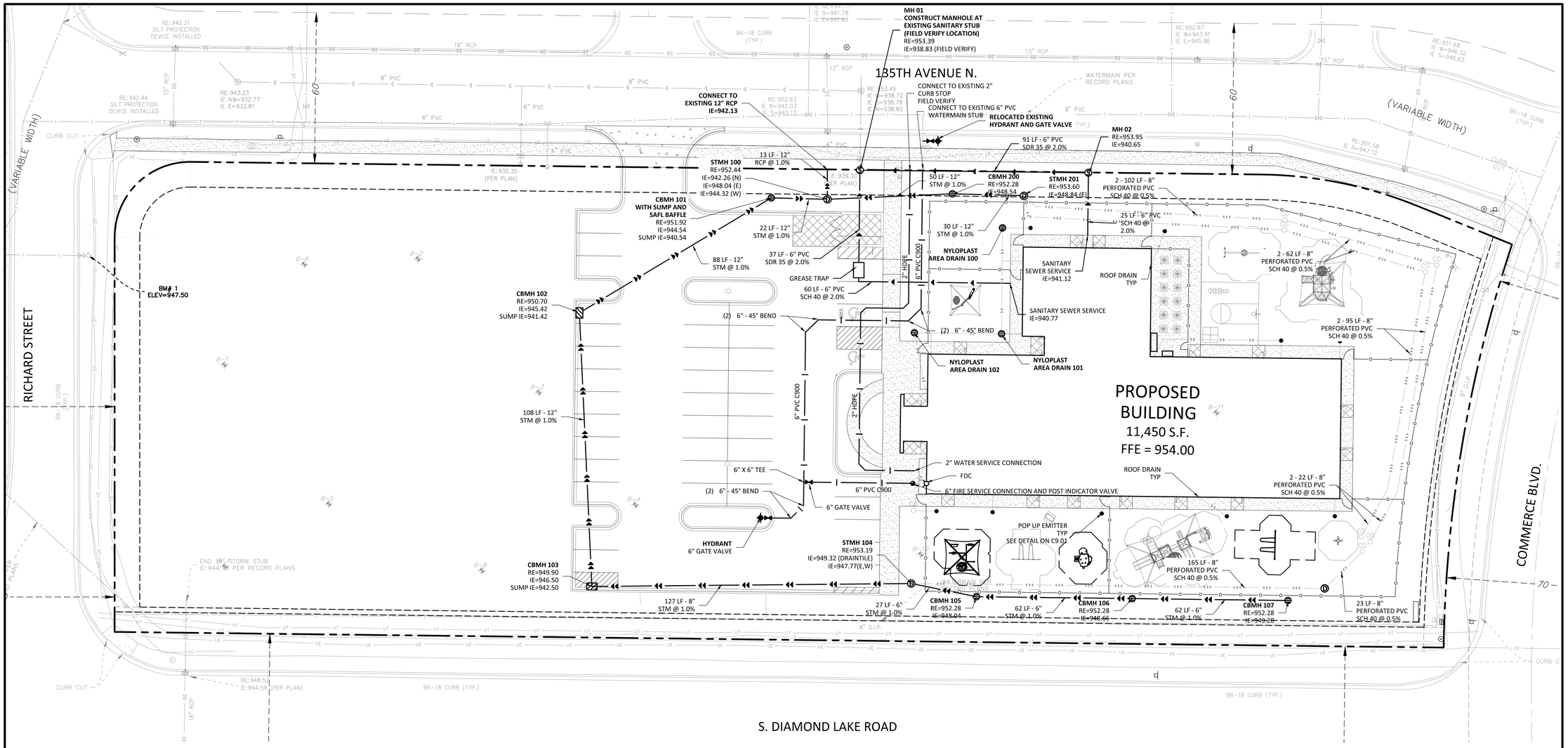
Sheet Title

EROSION CONTROL NOTES AND DETAILS

Sheet No. Revision

C5.03

Project No. 21267



LEGEND

	PROPOSED	EXISTING
CURB & GUTTER		
STORM SEWER		
SANITARY SEWER		
FORCEMAIN (SAN.)		
WATERMAIN		
EASEMENT		
DRAINTILE		
GAS LINE	UG	UG
ELECTRIC	UE	UE
TELEPHONE	UT	UT

UTILITY CONSTRUCTION NOTES

1. THE UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), EXCEPT AS MODIFIED HEREIN. CONTRACTOR SHALL OBTAIN A COPY OF THESE SPECIFICATIONS.
   - 1.1. INSTALL UTILITIES ACCORDING TO THE CITY STANDARD DETAIL PLATES, ADD ALL SEWER, WATERMAIN, AND SERVICES DETAILS AS NEEDED.
   - 1.2. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF CONTRACTOR.
   - 1.3. A MINIMUM VERTICAL SEPARATION OF 18 INCHES AND HORIZONTAL SEPARATION OF 10-FEET BETWEEN OUTSIDE PIPE DIAMETERS IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
2. ALL MATERIALS SHALL BE AS SPECIFIED IN CEAM SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.
   - 2.1. ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
   - 2.2. ALL SANITARY SEWER TO BE PVC SDR-35, UNLESS NOTED OTHERWISE.
     - 2.2.1. ALL SANITARY SEWER SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
   - 2.3. ALL WATERMAIN TO BE PVC C900, UNLESS NOTED OTHERWISE.
     - 2.3.1. ALL WATERMAIN TO HAVE 7.5-FEET OF COVER OVER TOP OF WATERMAIN.
     - 2.3.2. PROVIDE THRUST BLOCKING AND MECHANICAL JOINT RESTRAINTS ON ALL WATERMAIN JOINTS PER CITY STANDARDS.
   - 2.4. ALL STORM SEWER PIPE TO BE SMOOTH INTERIOR DUAL WALL HDPE PIPE WITH WATER TIGHT GASKETS, UNLESS NOTED OTHERWISE.
     - 2.4.1. ALL STORM SEWER PIPE FOR ROOF DRAIN SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
   - 2.5. RIP RAP SHALL BE Mn/DOT CLASS 3.
3. COORDINATE ALL BUILDING SERVICE CONNECTION LOCATIONS AND INVERT ELEVATIONS WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION.
4. ALL BUILDING SERVICE CONNECTIONS (STORM, SANITARY, WATER) WITH FIVE FEET OR LESS COVER ARE TO BE INSULATED FROM BUILDING TO POINT WHERE 5-FEET OF COVER IS ACHIEVED.
5. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
6. SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
7. ALL AREAS OUTSIDE THE PROPERTY BOUNDARIES THAT ARE DISTURBED BY UTILITY CONSTRUCTION SHALL BE RESTORED IN KIND. SODDED AREAS SHALL BE RESTORED WITH 6 INCHES OF TOPSOIL PLACED BENEATH THE SOD.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
9. ALL SOILS TESTING SHALL BE COMPLETED BY AN INDEPENDENT SOILS ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. THE UTILITY BACKFILL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND SOIL INSPECTIONS WITH THE SOILS ENGINEER.

   A GEOTECHNICAL ENGINEERING REPORT HAS BEEN COMPLETED BY:

   COMPANY: PROFESSIONAL SERVICE INDUSTRIES, INC.
   ADDRESS: 2915 WATERS ROAD, SUITE 112 EAGAN, MN 55121
   PHONE: 651-646-8148
   DATED: 7-26-2018

   CONTRACTOR SHALL OBTAIN A COPY OF THIS SOILS REPORT.
10. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR MANHOLE AND CATCH BASIN STRUCTURES TO ENGINEER. CONTRACTOR SHALL ALLOW 5 WORKING DAYS FOR SHOP DRAWING REVIEW.
11. CONTRACTOR AND MATERIAL SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.

STORM SEWER STRUCTURE SCHEDULE

NUMBER	TYPE	CASTING*
STMH 100	STORM MANHOLE	R-1643
CBMH 101	CATCH BASIN MANHOLE	R-2561
CBMH 102	CATCH BASIN MANHOLE	R-3067
CBMH 103	CATCH BASIN MANHOLE	R-3067
STMH 104	STORM MANHOLE	R-1642
CBMH 105	CATCH BASIN MANHOLE	R-2561
CBMH 106	CATCH BASIN MANHOLE	R-2561
CB 107	CATCH BASIN	R-2561
CBMH 200	CATCH BASIN MANHOLE	R-2561
STMH 201	STORM MANHOLE	R-1643
*INDICATES NEENAH FOUNDRY CASTING NO., OR APPROVED EQUAL		
ALL N-12 DRAIN BASINS SHALL BE NYLOPLAST 12" N-12 INLINE DRAINS (OR APPROVED EQUAL) WITH 12" SQUARE H-10 RATED PEDESTRIAN GRATES WITH LOCKING COVERS. NO METAL COVERS ARE ALLOWED IN PLAYGROUND AREAS.		
NOTE: CONTRACTOR AND THEIR SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.		

NORTH

0 20 40
SCALE IN FEET

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

Oct 10, 2018 - 9:50am - User:clichty L:\PROJECTS\21267\CAD\Civil\Sheets\21267-C601-UTILITY.dwg

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PRELIMINARY

George D. Abrahamson
Registration No. 43505 Date: 9/5/2018

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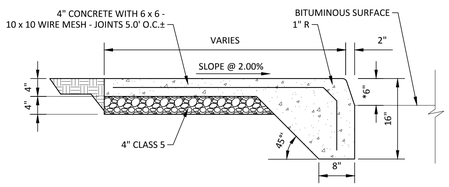
	10/11/18		RESPONSE TO CITY REVIEW

Sheet Title
UTILITY PLAN

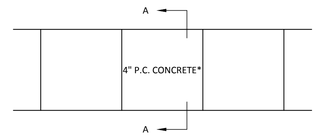
Sheet No. Revision
C6.01

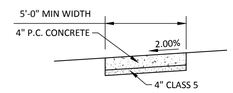
Project No. 21267



* HEIGHT VARIES - SEE GRADING PLAN

01 INTEGRAL SIDEWALK CURB
N.T.S.





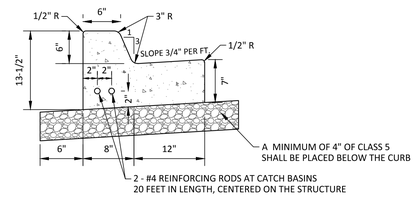
SECTION
A-A

GENERAL NOTES FOR CONCRETE CONSTRUCTION:

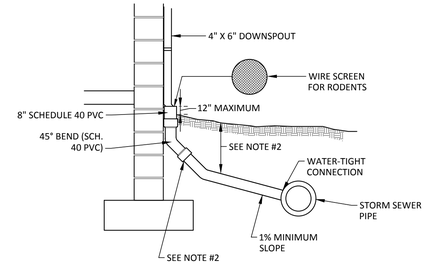
1. THE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF MN/DOT "STANDARD SPECIFICATIONS FOR CONSTRUCTION".
2. SIDEWALK CONTROL JOINTS SHALL BE LOCATED AT 5 FEET ON CENTER. SIDEWALK EXPANSION JOINTS SHALL BE LOCATED AT A MAXIMUM OF 100 FEET ON CENTER, AND WHERE SIDEWALK ABUTS CURB, STRUCTURES, AND OTHER FIXED OBJECTS. SEAL ALL EXPANSION JOINTS. BROOM FINISH SHALL BE PERPENDICULAR TO THE LINE OF TRAFFIC.

*THE THICKNESS SHALL BE INCREASED TO A MINIMUM DEPTH OF ___ INCHES AT DRIVEWAY CROSSINGS.

02 CONCRETE SIDEWALK
N.T.S.



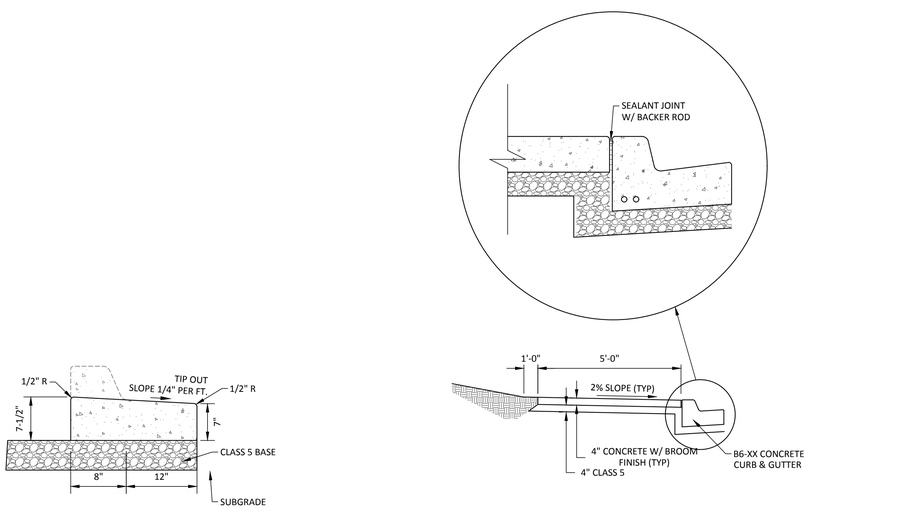
03 B612 CONCRETE CURB & GUTTER
N.T.S.



NOTES:

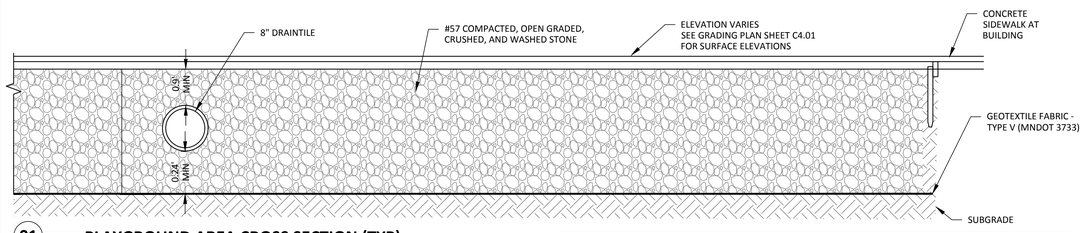
1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
2. A WATER-TIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO, AND INCLUDING, THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.

04 DOWNSPOUT COLLECTOR
N.T.S.



05 B612 FLAT CURB & GUTTER
N.T.S.

06 CONCRETE SIDEWALK SECTION BEHIND CURB & GUTTER
N.T.S.



01 PLAYGROUND AREA CROSS SECTION (TYP)

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LINDSAY, CA 93247
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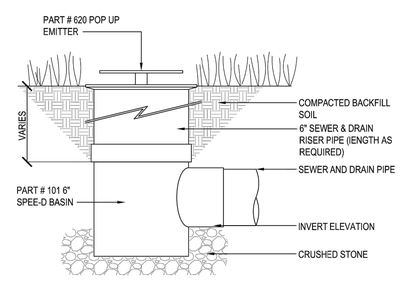
www.ndspro.com



SECTION

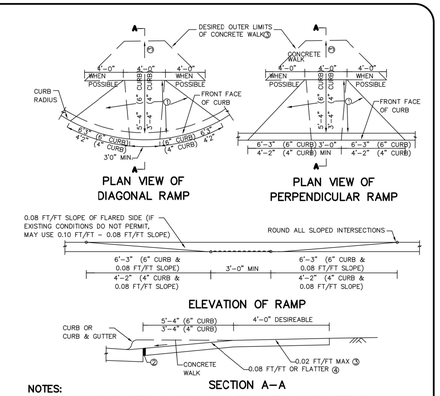
NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

DRAINAGE EMITTER
TYPICAL POP-UP DRAINAGE EMITTER (SPEE-D BASIN)

NDS S5 KEY COMPONENT www.ndspro.com/s5

REVISION DATE 8-24-2015



NOTES:

THE CURB AND CURB TRANSITION ON THE RAMP WILL BE PAID FOR AS LINEAR FEET OF CONCRETE CURB OR CONCRETE CURB AND GUTTER. THE RAMP AREA WILL BE PAID FOR AS SQUARE FEET OF CONCRETE WALK. SURFACE TREATMENT WILL BE CONSIDERED INCIDENTAL.

① SEE SPEC 2521.3CLA.

② ½" PREFORMED JOINT FILLER MATERIAL, AASHTO M 213.

③ WHEN POSSIBLE, PROVIDE A PATH OF TRAVEL BEHIND THE PEDESTRIAN RAMP. A RELATIVELY FLAT 48" X 48" LANDING WILL ALLOW WHEELCHAIRS TO NAVIGATE AROUND THE PEDESTRIAN RAMP.

④ WHEN A MEDIAN IS NOT WIDE ENOUGH FOR TWO PEDESTRIAN RAMPS AND A 48" LANDING BETWEEN THEM, THE THE PEDESTRIAN CROSSING SHALL BE CUT THROUGH THE MEDIAN AT STREET LEVEL.

⑤ REFER TO MNDOT STANDARD PLATE 7036E

CITY OF ROGERS	PEDESTRIAN CURB RAMP FOR SIDEWALK OR TRAIL	Standard Details	
		Date: JANUARY, 2014 Revised:	STR–15C

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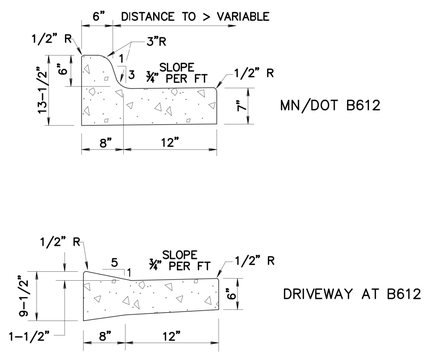
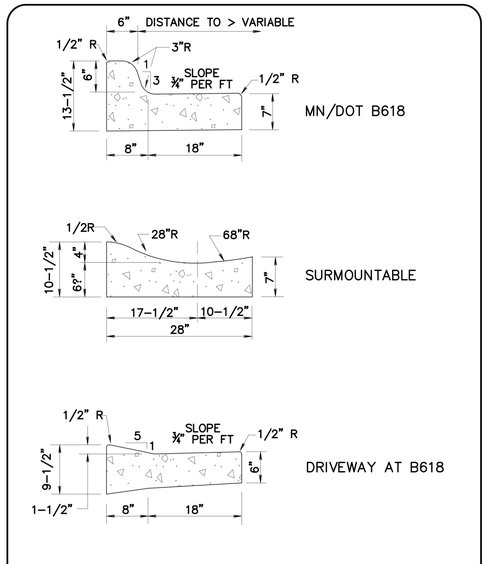
Sheet Title
DETAILS

Sheet No. Revision
C9.01

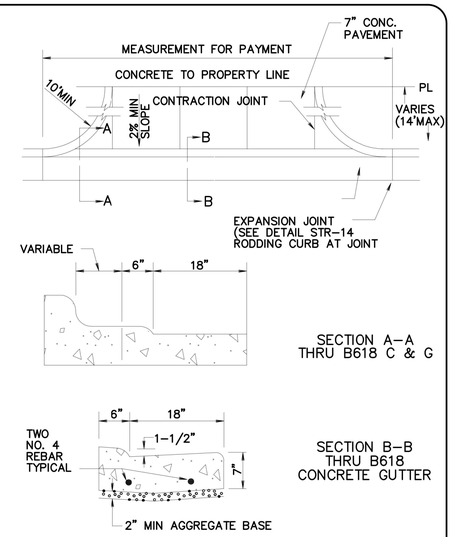
Project No. 21267



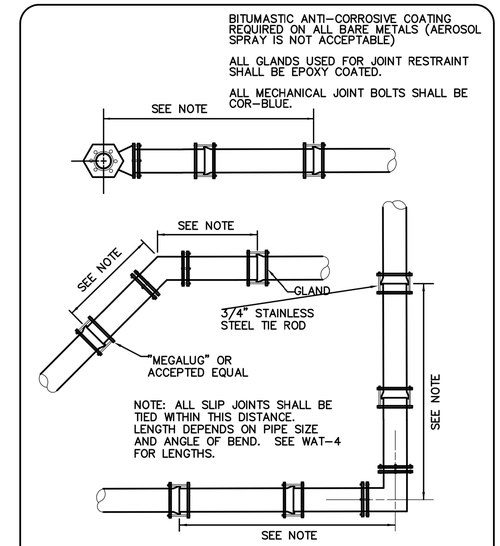
B612 CURB AND GUTTER | Standard Details | Date: JANUARY, 2014 | Revised: | STR-1A



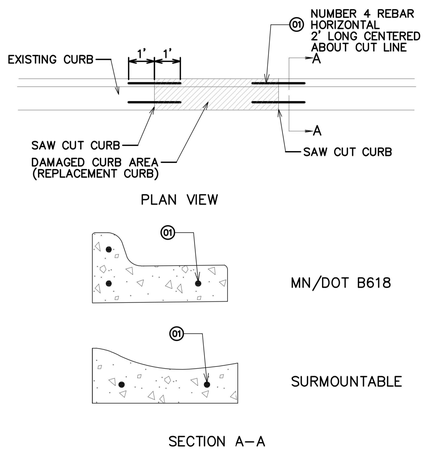
CURB AND GUTTER | Standard Details | Date: JANUARY, 2014 | Revised: | STR-1



COMMERCIAL DRIVEWAY | Standard Details | Date: JANUARY, 2014 | Revised: | STR-3



WATER MAIN TYING DETAIL | Standard Details | Date: JANUARY 2014 | Revised: | WAT-03



NOTES:
SAW CUT ENTIRE DEPTH OF CURB BOTH SIDES OF DAMAGED AREA AS DIRECTED BY ENGINEER.

CURB REPLACEMENT DETAIL | Standard Details | Date: JANUARY, 2014 | Revised: | STR-14

NOTES:

TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA), ALL STATE AND LOCAL AGENCIES ARE REQUIRED TO COMPLY WITH THIS STANDARD PLATE.

THE CURB AND CURB TRANSITION ON THE RAMP WILL BE PAID FOR AS LINEAR FEET OF CONCRETE CURB OR CONCRETE CURB AND GUTTER. THE RAMP AREA WILL BE PAID FOR AS CONCRETE WALK EXCLUDING THE TRUNCATED DOME AREA WHICH WILL BE PAID FOR AS TRUNCATED DOMES BY THE SQUARE FOOT. BIKE TRAILS SHALL HAVE TRUNCATED DOMES ACROSS THE ENTIRE WIDTH OF TRAIL WHEN THE TRAIL CROSSES A ROAD. DOMES ARE NOT TO BE USED ON SIDEWALKS OR TRAILS WHEN CROSSING ALLEYS OR DRIVEWAYS.

① 1/2" PREFORMED JOINT FILLER MATERIAL, AASHTO M 213.

② WHEN POSSIBLE, PROVIDE A CLEAR PATH OF TRAVEL 4'-0" WIDE BEHIND THE PEDESTRIAN RAMP. A RELATIVELY FLAT 4' X 4' LANDING WILL ALLOW WHEELCHAIRS TO NAVIGATE AROUND THE PEDESTRIAN RAMP. NO SIGNALS, SIGNS, CABINETS, OR OTHER OBSTRUCTIONS ARE ALLOWED IN THE RAMP OR PATH OF TRAVEL.

③ WHEN A MEDIAN IS NOT WIDE ENOUGH FOR TWO PEDESTRIAN RAMPS AND A 48" LANDING BETWEEN THEM, THE PEDESTRIAN CROSSING SHALL BE CUT THROUGH THE MEDIAN AT STREET LEVEL.

④ PLACE THE DETECTABLE WARNINGS (TRUNCATED DOMES) AT THE BACK OF CURB. WHEN THE DETECTABLE WARNING SYSTEM IS A PRECAST MATERIAL, THE CURB SHALL BE HAND FORMED TO FILL THE GAP.

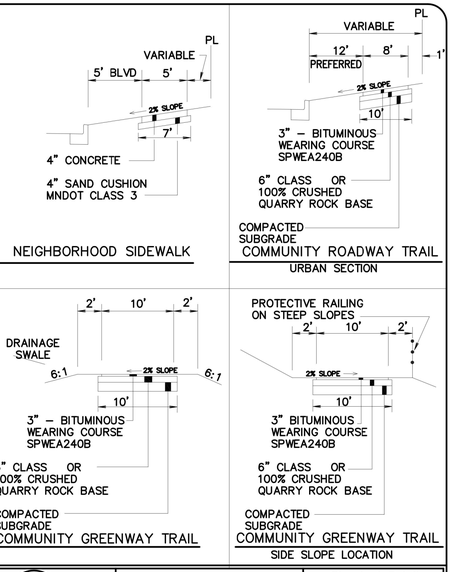
⑤ ADA TRUNCATED DOME AREA SHALL BE 2'-0" MIN. IN DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP. THIS 2'-0" BY 3'-0" OR 4'-0" WIDTH (TYP.) TRUNCATED DOME AREA SHALL CONTRAST VISUALLY WITH THE ADJACENT WALKING SURFACE. THE ENTIRE TRUNCATED DOME AREA SHALL BE A LIGHT GRAY COLOR WHEN THE ADJACENT SIDEWALK IS A DARK COLOR. THE ENTIRE TRUNCATED DOME AREA SHALL BE A DARK GRAY COLOR WHEN THE ADJACENT SIDEWALK IS A LIGHT GRAY CEMENT COLOR.

⑥ 4'-0" MIN. FOR NEW CONSTRUCTION. 3'-0" ALLOWED TO STAY IN PLACE FOR RETROFIT PROJECTS. IN SITUATIONS WHERE THE CURB CUT WIDTH EXCEEDS 4'-0", THE DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH.

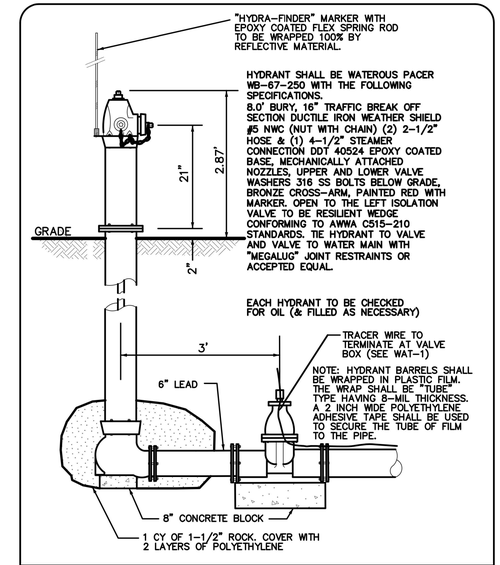
⑦ REFER TO MNDOT STANDARD PLATE 7036F

⑧ **REFER TO DETAIL STR 15A FOR DRAWINGS**

PEDESTRIAN CURB RAMP FOR SIDEWALK OR TRAIL | Standard Details | Date: JANUARY, 2014 | Revised: | STR-15



TYPICAL PLACEMENT AND SECTIONS FOR WALKS AND TRAILS | Standard Details | Date: JANUARY, 2014 | Revised: | STR-10



GATE VALVE AND HYDRANT INSTALLATION | Standard Details | Date: JANUARY, 2014 | Revised: | WAT-2

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Engineering | Surveying | Planning | Environmental

Client

PRIMROSE SCHOOLS FRANCHISING COMPANY

3660 CEDARCREST ROAD
ACWORTH, GEORGIA 30101

Project

PRIMROSE SCHOOL OF ROGERS

Location

ROGERS, MN

Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

PRELIMINARY

George D. Abrahamson
Registration No. 43505 Date: 9/5/2018

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary

Designed: GDA Drawn: MLL
Approved: GDA Book / Page:
Phase: PRELIM Initial Issued: 9/5/2018

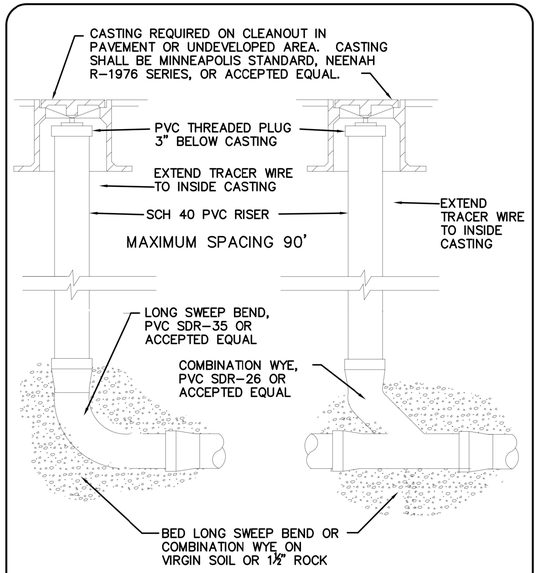
Revision History

No.	Date	By	Submittal / Revision
	9/5/18		PRELIMINARY
	10/11/18		RESPONSE TO CITY REVIEW

Sheet Title
DETAILS

Sheet No. Revision
C9.02

Project No. 21267



CITY OF ROGERS	SERVICE LINE CLEAN OUTS	Standard Details Date: JANUARY 2014 Revised:	SER-03

TRACER WIRE

TRACER WIRE SHALL BE COPPERHEAD #12 AWG CCS COMPLYING WITH ASTM-D-1248, 30 VOLT RATING GREEN FOR SEWER SERVICES AND FORCEMAIN AND BLUE FOR WATER MAIN

- #1230HS HIGH STRENGTH FOR OPEN CUT
- #1245EHS EXTRA HIGH STRENGTH FOR HORIZONTAL DIRECTIONAL DRILLING AND JACK/BORING
- SPLICING 2 WIRES, DRYCONN KING 6 BLUE
- SPLICING 3 OR MORE, DRYCONN DIRECT BURY LUG YELLOW
- WIRE SPLICING WILL BE ALLOWED WHEN APPROVED ONLY

ALL NEW TRACER WIRE INSTALLATIONS SHALL BE LOCATED USING TYPICAL LOW FREQUENCY (512 HZ) LINE TRACING EQUIPMENT, WITNESSED BY THE CONTRACTOR, ENGINEER AND FACILITY OWNER AS APPLICABLE, PRIOR TO ACCEPTANCE OF OWNERSHIP.

POLYVINYL CHLORIDE PIPE (PVC) – C900

PVC WATER DISTRIBUTION PIPE AND JOINTS SHALL CONFORM TO:
AWWA C-900 (DR)
ASTM D3139

NOTE: TRACER WIRE ACCESSES SHALL NOT EXCEED 500-FT

DUCTILE IRON PIPE

DIP WATER DISTRIBUTION PIPE SHALL BE PRESSURE CLASS 350 AWWA C150/151.

PLASTIC FILM WRAP FOR DIP

WATER DISTRIBUTION PIPE, RISER PIPE, AND HYDRANT BARRELS SHALL BE WRAPPED IN PLASTIC FILM. THE WRAP SHALL BE "TUBE" TYPE HAVING 8-MIL THICKNESS. A 2 INCH WIDE POLYETHYLENE ADHESIVE TAPE SHALL BE USED TO SECURE THE TUBE OF FILM TO THE PIPE.

DUCTILE IRON FITTINGS

WATER MAIN FITTINGS SHALL CONFORM TO ANSI A21.53, A21.11 & A21.4. FITTINGS SHALL BE COATED WITH 6 – 8 MM MINIMUM THICKNESS FUSION BONDED EPOXY CONFORMING TO ANSI/AWWA C550 AND C116/A21.16.

THRUST RESTRAINT

ALL WATER MAIN, VALVES, SERVICES, FITTINGS, STUBS, EXTENSIONS, BLIND FLANGES, AND PLUGS USED FOR RETAINING WATER PRESSURE MUST BE TIED WITH "MEGALUG" JOINT RESTRAINTS OR ACCEPTED EQUAL. BASED UPON A 150 PSI TEST PRESSURE AND 7.5' COVER, THE FOLLOWING SHOWS THE MINIMUM LENGTH OF PIPE EACH WAY OF A FITTING TO BE RESTRAINED. JOINT RESTRAINTS TO BE EPOXY COATED AS REQUIRED ON WATER MAIN FITTINGS.

PIPE DIAMETER	DEAD END OR TEE BRANCH	45^BEND	22-1/2^BEND
4" (SERVICE)	22 LF	5 LF	2 LF
6"	23 LF	7 LF	3 LF
8"	30 LF	10 LF	5 LF
10"	39 LF	12 LF	5 LF
12"	50 LF	16 LF	5 LF

ALL TEES WITH A VALVE IMMEDIATELY AFTER A TEE BRANCH SHOULD BE TREATED AS A 90 DEGREE BEND.

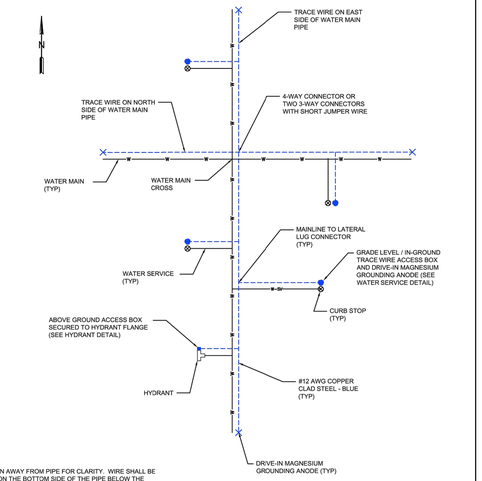
WHERE RESTRAINED JOINTS ARE REQUIRED AND THE PIPE IS IN A CASING NEAR THE FITTING TO BE RESTRAINED, THE LENGTH OF PIPE IN THE CASING SHALL NOT BE INCLUDED IN THE LENGTH OF PIPE NECESSARY TO DEVELOP SUFFICIENT SOIL FRICTION TO OVERCOME THRUST.

ALL BARE METALS SHALL HAVE TWO COATS OF BITUMASTIC OR ACCEPTED EQUAL. (AEROSOL SPRAY IS NOT ACCEPTABLE) ALL MECHANICAL JOINT BOLTS SHALL BE COR-BLUE.
ALL JOINT TIE RODS AND NUTS SHALL BE 316 STAINLESS STEEL.

WATER SERVICES

- COMMERCIAL – MUST BE A MINIMUM OF 6" DIAMETER AND MEET ALL OTHER WATER MAIN REQUIREMENTS.
- RESIDENTIAL – SEE SER2

CITY OF ROGERS	WATER MAIN DETAILS AND TIE SCHEDULE TABLE	Standard Details Date: JANUARY, 2014 Revised:	WAT-04



NOTES:
1. WIRE SHOWN AWAY FROM PIPE FOR CLARITY. WIRE SHALL BE INSTALLED ON THE BOTTOM SIDE OF THE PIPE BELOW THE SPRING LINE. THE WIRE SHALL BE FASTENED TO THE PIPE WITH TAPE OR PLASTIC TIES AT 5' INTERVALS.

TRACE WIRE PLAN (WATER)
NO SCALE

MINNESOTA RURAL WATER ASSOCIATION STANDARD DETAIL

TRACE WIRE SAMPLE WATER PLAN

May 28, 2014

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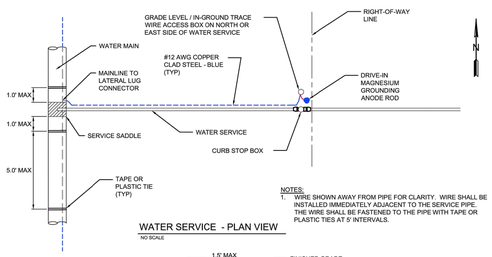
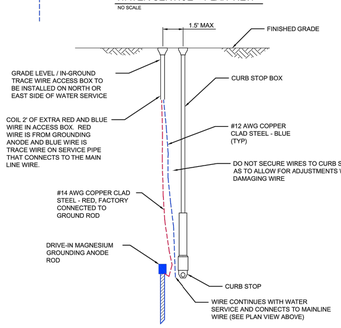


NOTES:
1. WIRE SHOWN AWAY FROM PIPE FOR CLARITY. WIRE SHALL BE INSTALLED IMMEDIATELY ADJACENT TO THE SERVICE PIPE. THE WIRE SHALL BE FASTENED TO THE PIPE WITH TAPE OR PLASTIC TIES AT 5' INTERVALS.

WATER SERVICE - PLAN VIEW
NO SCALE



WATER SERVICE - SECTION VIEW
NO SCALE

MINNESOTA RURAL WATER ASSOCIATION STANDARD DETAIL

TRACE WIRE WATER SERVICE DETAIL

May 28, 2014

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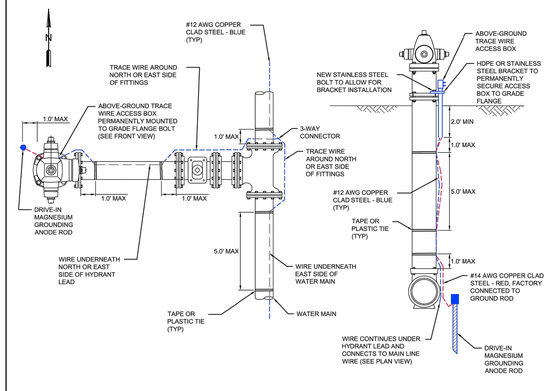

HYDRANT - PLAN VIEW
NO SCALE

HYDRANT - SECTION VIEW
NO SCALE

MINNESOTA RURAL WATER ASSOCIATION STANDARD DETAIL

TRACE WIRE HYDRANT DETAIL

May 28, 2014

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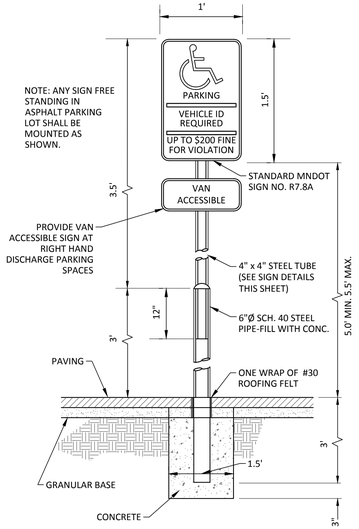
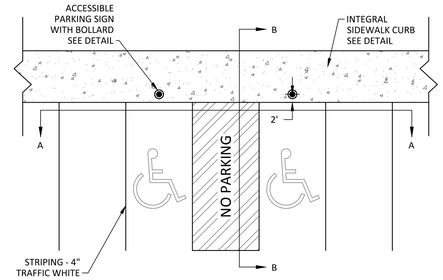
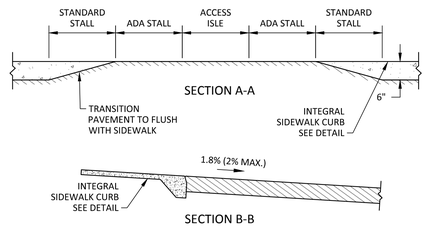


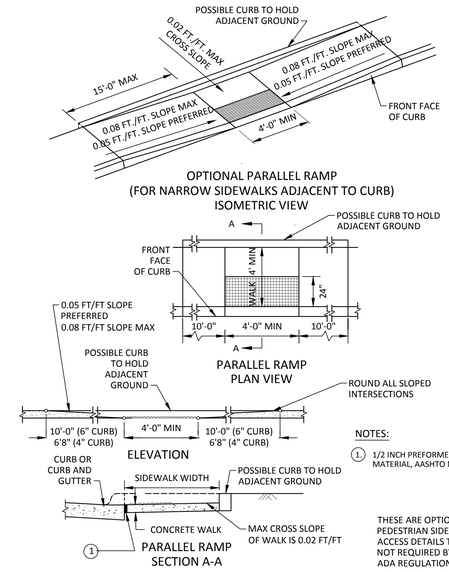
02 N.T.S. **ACCESSIBLE PARKING SIGN**



PLAN VIEW OF ADA PARKING



20 N.T.S. **ADA PARKING**

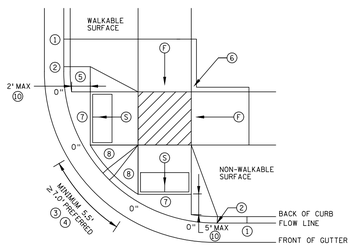


NOTES:

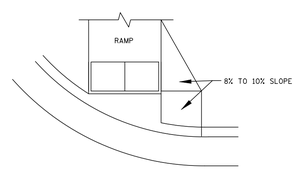
1. 1/2 INCH PREFORMED JOINT FILLER MATERIAL, AASHTO M 213.

THESE ARE OPTIONAL PEDESTRIAN SIDEWALK ACCESS DETAILS THAT ARE NOT REQUIRED BY CURRENT ADA REGULATIONS

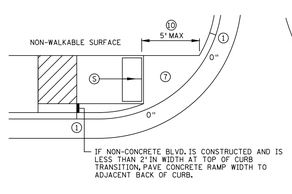
12A N.T.S. **PEDESTRIAN CURB RAMP OPTION**



COMBINED DIRECTIONAL 9

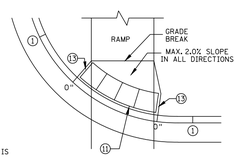


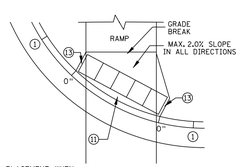
DIRECTIONAL RAMP WALKABLE FLARE



IF NON-CONCRETE BLVD. IS CONSTRUCTED AND IS LESS THAN 2' IN WIDTH AT TOP OF CURB TRANSITION, PAVE CONCRETE RAMP WIDTH TO ADJACENT BACK OF CURB.

STANDARD ONE-WAY DIRECTIONAL 9





DETECTABLE WARNING PLACEMENT WHEN SETBACK CRITERIA IS EXCEEDED

ONE-WAY DIRECTIONAL WITH DETECTABLE WARNING AT BACK OF CURB

NOTES:

LANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE (PAR) CHANGES DIRECTION, AT THE TOP OF RAMPS THAT HAVE RUNNING SLOPES GREATER THAN 5.0%, AND IF THE APPROACHING WALK IS INVERSE GRADE.

INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 15' FROM THE BACK OF CURB, WITH 6' FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE. ONLY APPLICABLE WHEN THE INITIAL RAMP RUNNING SLOPE IS OVER 5.0%.

SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30" OF VERTICAL RISE WHEN THE LONGITUDINAL SLOPE IS GREATER THAN 5.0%.

CONTRACTION JOINTS SHALL BE CONSTRUCTED ALONG ALL GRADE BREAKS WITHIN THE PAR, 1/4" DEEP VISUAL JOINTS SHALL BE USED AT THE TOP GRADE BREAK OF CONCRETE FLARES ADJACENT TO WALKABLE SURFACES.

ALL GRADE BREAKS WITHIN THE PAR SHALL BE PERPENDICULAR TO THE PATH OF TRAVEL. THUS BOTH SIDES OF A SLOPED WALKING SURFACE MUST BE EQUAL LENGTH.

TO ENSURE INITIAL RAMPS AND INITIAL LANDINGS ARE PROPERLY CONSTRUCTED, LANDINGS SHALL BE CAST SEPARATELY. FOLLOW SIDEWALK REINFORCEMENT DETAILS ON SHEET 6 AND THE ADA SPECIAL PROVISION (PROSECUTION OF WORK).

TOP OF CURB SHALL MATCH PROPOSED ADJACENT WALK GRADE.

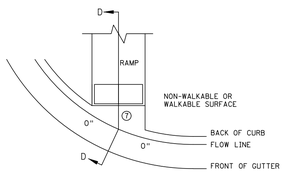
WHEN THE BOULEVARD IS 4' WIDE OR LESS, THE TOP OF CURB TAPER SHALL MATCH THE RAMP SLOPES TO REDUCE NEGATIVE BOULEVARD SLOPES FROM THE TOP BACK OF CURB TO THE PAR.

ALL RAMP TYPES SHOULD HAVE A MINIMUM 3' LONG RAMP LENGTH.

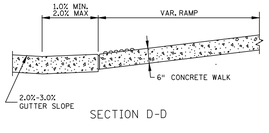
4' MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMPS. DETECTABLE WARNINGS SHALL CONTINUOUSLY EXTEND FOR A MIN. OF 24" IN THE PATH OF TRAVEL. DETECTABLE WARNING TO COVER ENTIRE WIDTH OF SHARED-USE PATH AND THE ENTIRE PAR WIDTH OF THE WALK. DETECTABLE WARNING SHOULD BE 6" LESS THAN THE PAR/PATH WIDTH. ARC LENGTH OF RADIAL DETECTABLE WARNINGS SHOULD NOT BE GREATER THAN 20 FEET.

RADIAL DETECTABLE WARNINGS SHALL BE SETBACK 3" MINIMUM TO 6" MAXIMUM FROM THE BACK OF CURB. SEE NOTES (9) & (11) FOR INFORMATION REGARDING RECTANGULAR DETECTABLE WARNING PLACEMENT.

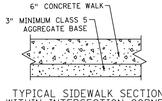
1. MATCH FULL CURB HEIGHT.
2. 3" HIGH CURB WHEN USING A 3' LONG RAMP
   4" HIGH CURB WHEN USING A 4' LONG RAMP.
3. 3" MINIMUM CURB HEIGHT (5.5' MIN. DISTANCE REQUIRED BETWEEN DOMES)
   4" PREFERRED (7' MIN. DISTANCE REQUIRED BETWEEN DOMES).
4. THE "BUMP" IN BETWEEN THE RAMPS SHOULD NOT BE IN THE PATH OF TRAVEL FOR COMBINED DIRECTIONAL RAMPS. IF THIS OCCURS MODIFY THE RAMP LOCATION OR SWITCH RAMP TO A FAN/DEPRESSED CORNER.
5. WHEN USING CONCRETE PAVED FLARES ON THE OUTSIDE OF DIRECTIONAL RAMPS, AND ADJACENT TO A WALKABLE SURFACE, DIRECTIONAL RAMP FLARES SHOULD BE USED. SEE THE DETAIL ON THIS SHEET.
6. GRADING SHALL ALWAYS BE USED WHEN FEASIBLE. V CURB, IF USED, SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS. WHEN ADJACENT TO PARKING LOTS, CONCRETE OR BITUMINOUS TAPERS SHOULD BE USED OVER V CURB TO REDUCE TRIPPING HAZARDS AND FACILITATE SNOW & ICE REMOVAL.
7. MAX. 2.0% SLOPE IN ALL DIRECTIONS IN FRONT OF GRADE BREAK AND DRAIN TO FLOW LINE. SHALL BE CONSTRUCTED INTEGRAL WITH CURB AND GUTTER.
8. 8% TO 10% WALKABLE FLARE.
9. PLACE DOMES AT THE BACK OF CURB WHEN ALLOWABLE SETBACK CRITERIA IS EXCEEDED.
10. FRONT EDGE OF DETECTABLE WARNING SHALL BE SET BACK 2' MAXIMUM WHEN ADJACENT TO WALKABLE SURFACE, AND 5' MAXIMUM WHEN ADJACENT TO NON-WALKABLE SURFACE WITH ONE CORNER SET 3" FROM BACK OF CURB. A WALKABLE SURFACE IS DEFINED AS A PAVED SURFACE ADJACENT TO A CURB RAMP WITHOUT RAISED OBSTACLES THAT COULD MISTAKENLY BE TRAVERSED BY A USER WHO IS VISUALLY IMPAIRED.
11. RECTANGULAR DETECTABLE WARNINGS MAY BE SETBACK UP TO 9" FROM THE BACK OF CURB WITH CORNERS SET 3" FROM BACK OF CURB. IF 9" SETBACK IS EXCEEDED USE RADIAL DETECTABLE WARNINGS.
12. FOR DIRECTIONAL RAMPS WITH THE DETECTABLE WARNINGS PLACED AT THE BACK OF CURB, THE DETECTABLE WARNINGS SHALL COVER THE ENTIRE WIDTH OF THE WALK/PATH. THIS ENSURES A DETECTABLE EDGE AND HELPS ELIMINATE THE CURB TAPER OBSTRUCTING THE PATH OF PEDESTRIAN TRAVEL.
13. THE CONCRETE WALK SHALL BE FORMED AND CONSTRUCTED PERPENDICULAR TO THE BACK OF CURB. MAINTAIN 3" BETWEEN EDGE OF DOMES AND EDGE OF CONCRETE.
14. TO BE USED FOR ALL DIRECTIONAL RAMPS, EXCEPT WHERE DOMES ARE PLACED ALONG THE BACK OF CURB.



CURB FOR DIRECTIONAL RAMPS 14



SECTION D-D



TYPICAL SIDEWALK SECTION WITHIN INTERSECTION CORNER

LEGEND

THESE LONGITUDINAL SLOPE RANGES SHALL BE THE STARTING POINT. IF SITE CONDITIONS WARRANT, LONGITUDINAL SLOPES UP TO 8.3% OR FLATTER ARE ALLOWED.

- (S) INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.0%.
- (F) INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE GREATER THAN 2.0% AND LESS THAN 5.0% IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%.
- LANDING AREA - 4' X 4' MIN. (5' X 5' MIN. PREFERRED) DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS. LANDING SHALL BE FULL WIDTH OF INCOMING PARS.
- X" CURB HEIGHT

REVISION:
APPROVED: JANUARY 23, 2017
OPERATIONS ENGINEER

MINNESOTA DEPARTMENT OF TRANSPORTATION
REVISED:
APPROVED: 1-23-2017
STATE DESIGN ENGINEER

PEDESTRIAN CURB RAMP DETAILS

STANDARD PLAN 5-297.250 | 2 OF 6

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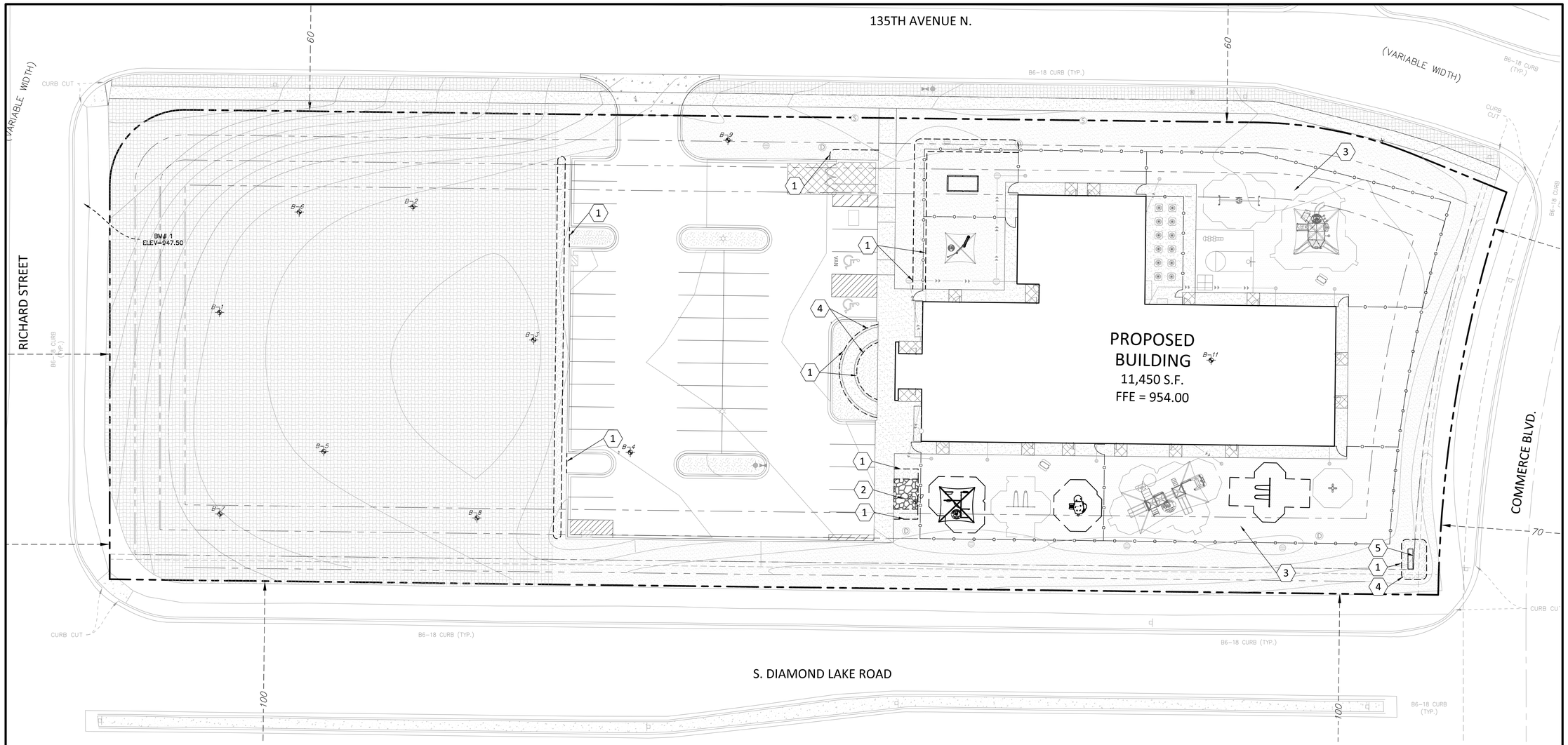

DEVELOPMENT SUMMARY

AREA		
GROSS SITE AREA	100,254 SF	2.30 AC
BUILDING AREA	11,450 SF	.26 AC
PARKING AREA (HARDSCAPE)	17,745 SF	.41 AC
PLAYGROUND AREA	15,788 SF	.36 AC
IMPERVIOUS SURFACE	33,903 SF	.79 AC
SETBACKS		
FRONT YARD	30 FEET	
REAR YARD	10 FEET	
INTERIOR SIDE YARD	30 FEET	
PARKING-SIDE/REAR	10 FEET	
PARKING-ROAD	10 FEET	
ZONING		
EXISTING ZONING	B-1	
PROPOSED ZONING	B-1	
PARKING SUMMARY		
ADA	2 STALLS	
STANDARD	38 STALLS	

VEGETATIVE GROUNDCOVER SCHEDULE

GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	QTY
	Annual Bed by owner	-	128 sf
	MNDOT Seed Mix 25-131 / Low Maintenance Fescue mix	Seed	36,562 sf
	Turf Sod Highland Sod / Sod	Sod	16,731 sf

GROUNDCOVER SCHEDULE

SYMBOL	DESCRIPTION
	XGRASS SYNTHETIC TURF
	SHREDDED HARDWOOD MULCH (PLANTING BEDS ONLY)

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
1	STEEL LANDSCAPE EDGING - 4" COLOR BLACK. SEE DETAIL 4/L4.01.
2	FLAGSTONE PAVERS
3	XGRASS ARTIFICAL TURF. SEE ARCH. SET.
4	ANNUAL PLANTINGS (BY OWNER)
5	MONUMENT SIGN

LEGEND

	PROPOSED	EXISTING
PROPERTY LIMIT		
CURB & GUTTER		
EASEMENT		
BUILDING		
RETAINING WALL		
WETLAND LIMITS		WL
TREELINE		
SAWCUT LINE		
SIGN		
PIPE BOLLARD		
STORM SEWER	D	D
SANITARY SEWER	S	S
FORCEMAIN (SAN.)	LS FM	S
WATERMAIN		
DRAINTILE		
YARDDRAIN		
LANDSCAPE EDGING		
LIMITS OF DISTURBANCE		
CHAIN LINK FENCE		

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUAUITY LEVEL . THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CONTACTING THE NOTIFICATION CENTER (GOPHER STATE ONE FOR MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NORTH

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Engineering | Surveying | Planning | Environmental

Client

PRIMROSE SCHOOLS FRANCHISING COMPANY

3660 CEDARCREST ROAD
ACWORTH, GEORGIA 30101

Project

PRIMROSE SCHOOL OF ROGERS

Location

ROGERS, MN

Certification

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

PRELIMINARY

Joshua J. McKinney
Registration No. 48234 Date: 9/5/2018

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No.	Date	By	Submittal / Revision
	9/5/18		PRELIMINARY
	10/11/18		RESPONSE TO CITY REVIEW

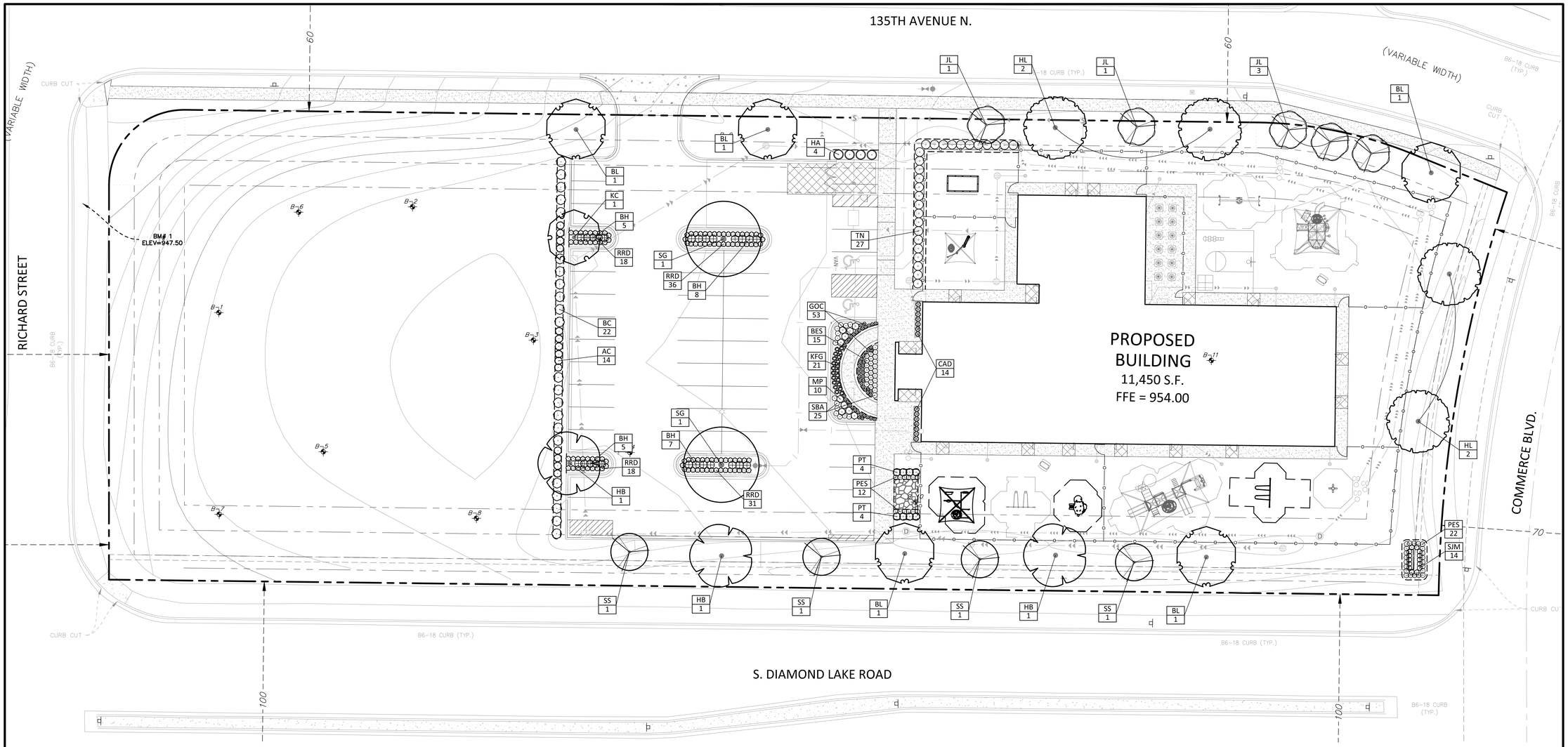
Sheet Title

LANDSCAPE SITE PLAN

Sheet No. Revision

L1.01

Project No. 21267



DEVELOPMENT SUMMARY

AREA		
GROSS SITE AREA	100,254 SF	2.30 AC
BUILDING AREA	11,450 SF	.26 AC
PARKING AREA (HARDSCAPE)	17,745 SF	.41 AC
PLAYGROUND AREA	15,788 SF	.36 AC
IMPERVIOUS SURFACE	36,378 SF	.84 AC
SETBACKS		
FRONT YARD		30 FEET
REAR YARD		10 FEET
INTERIOR SIDE YARD		30 FEET
PARKING-SIDE/REAR		10 FEET
PARKING-ROAD		10 FEET
ZONING		
EXISTING ZONING		B-1
PROPOSED ZONING		B-1
PARKING SUMMARY		
ADA		2 STALLS
STANDARD		38 STALLS

LANDSCAPE SUMMARY

PLANTINGS	OVERSTORY TREES	ORNAMENTAL TREES	SHRUBS
EXISTING	0	0	0
PROPOSED	15	9	124

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PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
	SG	Acer freemanii `Sienna Glen` / Sienna Glen Maple	B & B	3"Cal.	2
	HB	Celtis occidentalis / Common Hackberry	B & B	2.5"Cal	3
	HL	Gleditsia triacanthos `Skyline` / Skyline Honey Locust	B & B	2.5"Cal	4
	KC	Gymnocladus dioica `Espresso` / Kentucky Coffeetree	B & B	2.5"Cal	1
	BL	Tilia americana `Boulevard` / Boulevard Linden	B & B	2.5"Cal	5
ORN. TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
	SS	Malus x `Spring Snow` / Spring Snow Crab Apple	B & B	2.5"Cal	4
	JL	Syringa reticulata / Japanese Tree Lilac	B & B	2.5"Cal	5
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT		QTY
	BC	Aronia melanocarpa `Autumn Magic` / Autumn Magic Black Chokeberry	5 gal		22
	BH	Diervilla lonicera / Dwarf Bush Honeysuckle	5 gal		25
	TN	Physocarpus opulifolius `SMPOTW` / Tiny Wine Ninebark	5 gal		27
	PT	Potentilla fruticosa `Fargo` TM / Fargo Potentilla	5 gal		8
	MP	Potentilla fruticosa `McKay`s White` / McKay`s White Bush Cinquefoil	5 gal		10
	AC	Ribes alpinum / Alpine Currant	5 gal		14
	SJM	Spiraea japonica 'Mertyann' TM / Dakota Goldcharm Spirea	2 gal.		14
	HA	Thuja occidentalis `Holmstrup` / Holmstrup Cedar	10 gal		4
GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT		QTY
	KFG	Calamagrostis x acutiflora `Karl Foerster` / Feather Reed Grass	1 gal		21
PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT		QTY
	SBA	Allium x `Summer Beauty` / Summer Beauty Allium	1 gal		25
	GOC	Geranium x 'Orkney Cherry' / Orkney Cherry Cranesbill	1 gal		53
	CAD	Hemerocallis x `Chicago Apache` / Daylily	1 gal		14
	RRD	Hemerocallis x `Rosy Returns` / Daylily	1 gal		103
	BES	Rudbeckia fulgida `Goldstrum` / Black Eyed Susan	1 gal		15
	PES	Sedum x `Purple Emperor` / Stonecrop	1 gal		34

LEGEND

	PROPOSED	EXISTING
PROPERTY LIMIT		
CURB & GUTTER		
EASEMENT		
BUILDING		
RETAINING WALL		
WETLAND LIMITS		WL
TREELINE		
SAWCUT LINE		
SIGN		
PIPE BOLLARD		
STORM SEWER	D	
SANITARY SEWER	S	S
FORCEMAIN (SAN.)	LS FM	S
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PRELIMINARY

Joshua J. McKay
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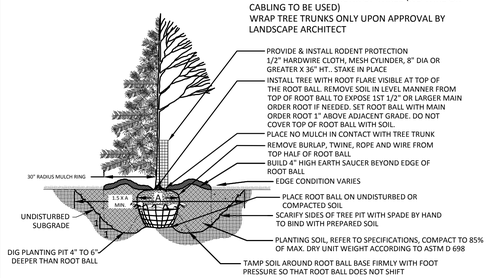
Sheet Title
LANDSCAPE PLANTING PLAN

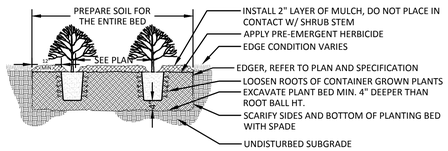
Sheet No. Revision
L1.02

Project No. 21267

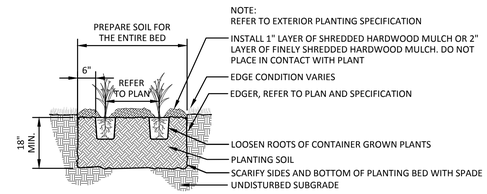
NOTE:
CONTRACTOR SHALL MAINTAIN TREES IN A PLUMB POSITION THROUGHOUT THE WARRANTY PERIOD. IF STAKING IS REQUIRED BY SITE CONDITIONS, CONTRACTOR TO USE 2 OR 3 STAKE METHOD WITH 1" WEBBING AROUND TRUNK OF THREE (NO WIRE OR CABLING TO BE USED)
WRAP TREE TRUNKS ONLY UPON APPROVAL BY LANDSCAPE ARCHITECT



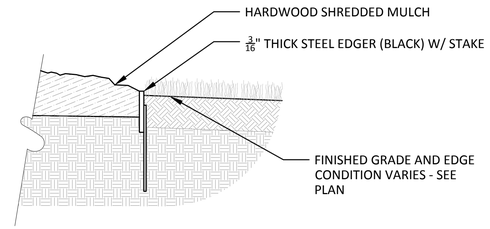
1 L4.01 TREE PLANTING DETAIL
1/4" = 1'-0" P-01



2 L4.01 SHRUB PLANTING DETAIL
3/8" = 1'-0" P-02



3 L4.01 PERENNIAL PLANTING DETAIL
1/2" = 1'-0" P-03



4 L4.01 STEEL EDGER
1 1/2" = 1'-0" P-06

NOTES

GENERAL NOTES:

1. THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
2. THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
4. THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
5. LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND GOPHER STATE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
6. **THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.**
7. THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
8. THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
9. THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
10. EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6' O.C. MAXIMUM SPACING.
11. LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
12. CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

PLANTING NOTES:

1. NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
2. A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURERS RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
3. ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
4. OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACES.
5. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
6. PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
7. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
8. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
9. NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
10. ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
11. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
12. MULCH: SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 4" FOR SHRUB BEDS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
14. USE ANTI-DESICCANT (WILTPRUF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
14. PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT (4% MIN.) OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3877 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED IN A 6" LAYER AND ROTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO.ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HEELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
15. ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
16. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
17. SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK. DECIDUOUS

17.1.	POTTED PLANTS:	4/1 - 6/1; 9/21 - 11/1
17.2.	DECIDUOUS /B&B:	4/1 - 6/1; 9/21 - 11/1
17.3.	EVERGREEN POTTED PLANTS:	4/1 - 6/1; 9/21-11/1
17.4.	EVERGREEN B&B:	4/1 - 5/1; 9/21 - 11/1
17.5.	TURF/LAWN SEEDING:	4/1 - 6/1; 7/20 - 9/20
17.6.	NATIVE MIX SEEDING:	4/1 - 7/20; 9/20-10/20

18. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE, INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
19. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
20. WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

TURF NOTES:

TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE MN/DOT 2105 AND 2575 EXCEPT AS MODIFIED BELOW:

1. ALL AREAS TO RECEIVE SOD SHALL ALSO RECEIVE 4" OF TOPSOIL PRIOR TO INSTALLING SOD. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1 $\frac{1}{2}$" INCHES IN ANY DIMENSION.
2. WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
3. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
4. TURF ON ALL OTHER AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY SEEDING, MULCHING AND FERTILIZING. SEED MIXTURE NO.25-121 (FORMERLY MnDOT 240) WILL BE PLACED AT THE RATE OF 70 POUNDS PER ACRE.
5. ALL DISTURBED AREAS TO BE TURF SEEDED, ARE TO RECEIVE 4" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
6. ALL DISTURBED AREAS TO RECEIVE NATIVE SEED, ARE TO RECEIVE PLANTING SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.

IRRIGATION NOTES:

1. IRRIGATION SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
2. ALL SOD TO RECEIVE SPRAY OR ROTOR IRRIGATION HEADS WITH MINIMUM DESIGN OF 1" IRRIGATION PER WEEK.
3. ALL PLANT BEDS TO RECEIVE DRIP LINE IRRIGATION , WITH A MINIMUM DESIGN OF .25" IRRIGATION PER WEEK.
4. CONTRACTOR TO INSTALL A TOTAL OF 4 QUICK COUPLERS AT THE CORNERS OF THE PROPERTY. A 2.5" TYPE K SOURCE PIPE IS PROVIDED BY MECHANICAL.

LOW MAINTENANCE FESCUE NOTES:

1. DURING GROWING SEASON NEVER MOW SHORTER THAN 3.5 INCHES, PREFERRED MAINTENANCE IS MOW ONCE PER MONTH AT 5" HEIGHT
2. DO NOT USE HIGH NITROGEN FERTILIZER ON FESCUE LAWN
3. OVERSEED THIN,BARE SPOTS IN FALL
4. ALWAYS USE SHARP BLADE WHEN MOWING TO AVOID TEARING LEAF BLADE
5. SET MOWER TO 3" FOR BAGGING AND MOWING IN LATE FALL AFTER GROWING SEASON

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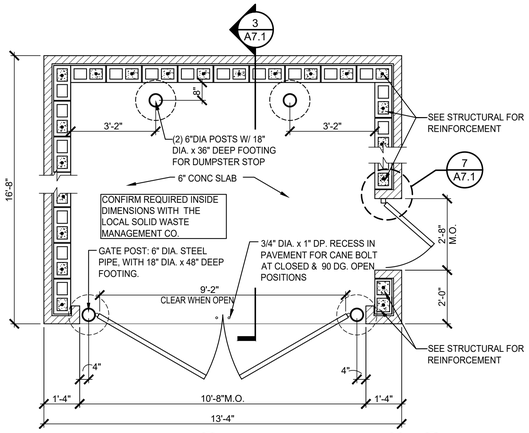
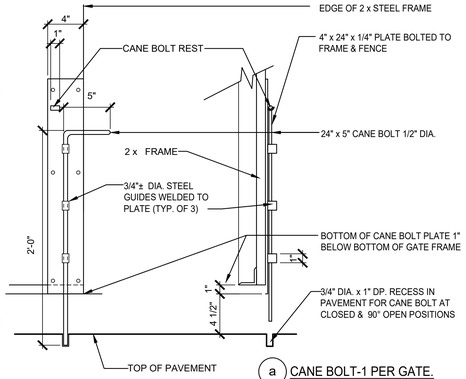
LANDSCAPE DETAIL AND NOTES

Sheet No. Revision

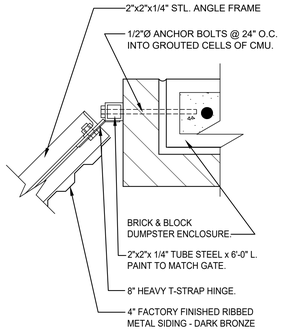
L4.01

Project No. 21267

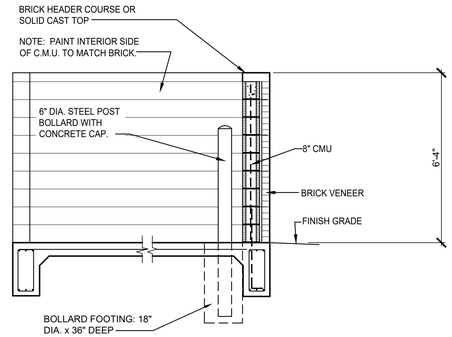




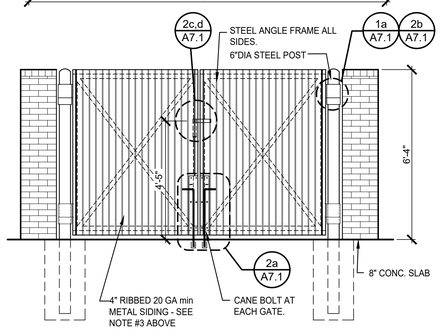
a CANE BOLT-1 PER GATE. (3 TOTAL)

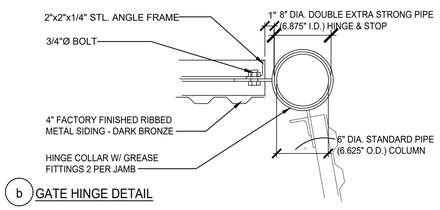


7 A7.1 HINGE DETAIL
SCALE: 1 1/2" = 1'-0"

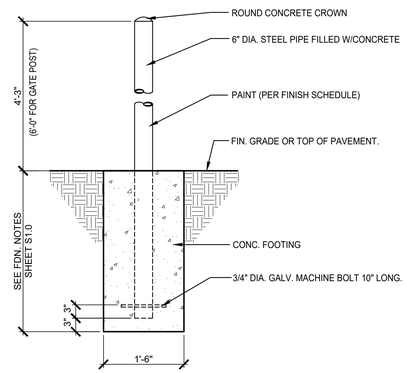


3 A7.1 DUMPSTER ENCLOSURE SECTION
SCALE: 3/8" = 1'-0"

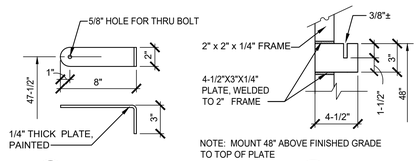




b GATE HINGE DETAIL

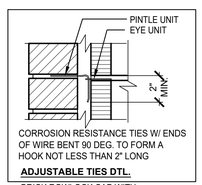


4 A7.1 BOLLARD/POST DETAIL
SCALE: 3/4" = 1'-0"



c SWING LATCH d STOP PLATE

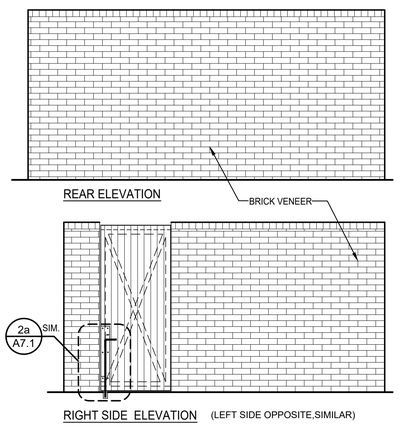
2 A7.1 HARDWARE DETAILS
SCALE: 1 1/2" = 1'-0"



NOTES:
1. GROUT ALL MASONRY CELLS SOLID.
2. SEE MASONRY NOTES IN SPECIFICATIONS.

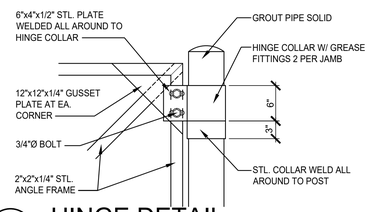
MONUMENT SIGN SPECIFICATIONS:	
LOGO	24" DIAMETER SANDBLASTED. COLOR: TATE OLIVE OVER BEIGE BACKGROUND
LETTERS	DARK BRONZE, 5" HIGH. STYLE: TIMES BOLD.
STRIP LETTERS	DARK BRONZE, 2 1/2" HIGH. STYLE: TIMES BOLD.
BACKGROUND	PAINTED METAL. COLOR: BEIGE.
BRICK	BRICK COLOR TO MATCH MAIN BUILDING.

MONUMENT SIGN AREAS:	
SIGN (COPY AREA)	2'-8" H. x 7'-4" W. = 19.5 SQ. FT.
LOGO	2'-0" DIAMETER = 3.1 SQ. FT.
OVERALL	45.2 SQ. FT. (22.6 EACH SIDE)

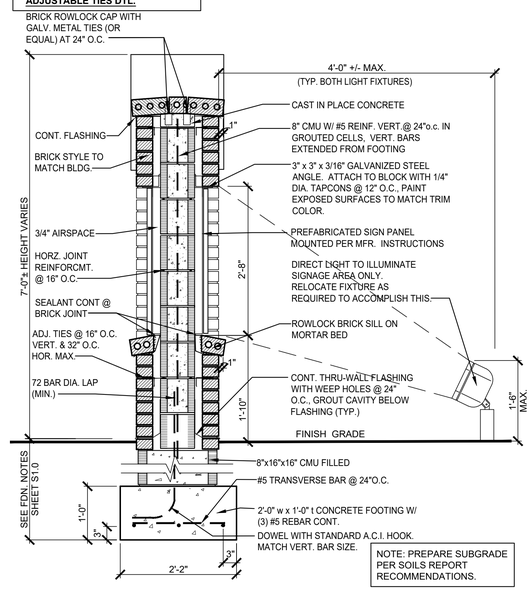


GEN. NOTES

1. 6"DIA STEEL POSTS SHALL BE SET A MINIMUM OF 36" INTO CONCRETE.
2. BRICK COLOR TO MATCH THE BRICK ON THE BUILDING, U.N.O.
3. PAINT DUMPSTER GATE, POST, HINGES AND ACCESSORIES AS SPECIFIED ON "EXTERIOR FINISH SCHEDULE".

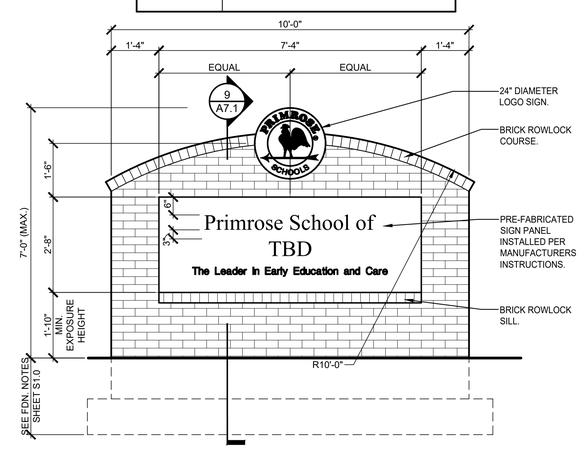


1a A7.1 HINGE DETAIL
SCALE: 1/2" = 1'-0"



NOTE: PREPARE SUBGRADE PER SOILS REPORT RECOMMENDATIONS.

9 A7.1 SECTION @ MONUMENT SIGN
SCALE: 3/4" = 1'-0"



8 A7.1 MONUMENT SIGN ELEVATION
SCALE: 1/2" = 1'-0"

CASCO + R|5
12 Sunnen Drive, Suite 100, St. Louis, MO 63143 T: 314.821.1100

PRIMROSE SCHOOL OF ROGERS
SOUTH DIAMOND LAKE RD & RICHARD ST.
ROGERS, MN 55374

PRIMROSE SCHOOL FRANCHISING COMPANY
3660 CEDARCREST ROAD
ACWORTH, GEORGIA 30101

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CONSTRUCTION DOCUMENT REVISIONS

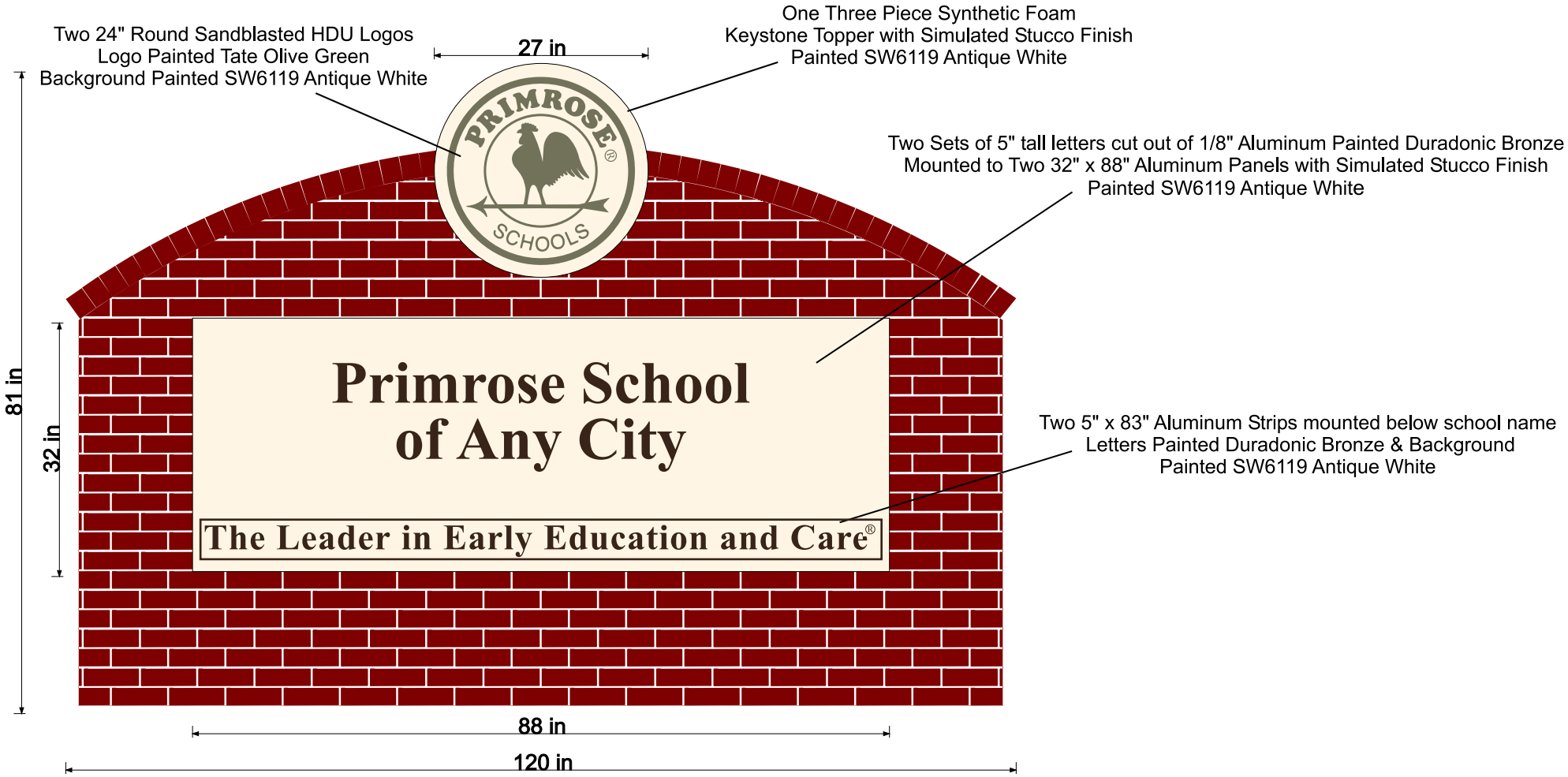
No.	Description	Date

Drawn By/Checked By:	DSC/KMM
Project Number	918432
Drawing Date	09-05-18
Bid Date	XX-XX-XX
Permit Date	XX-XX-XX

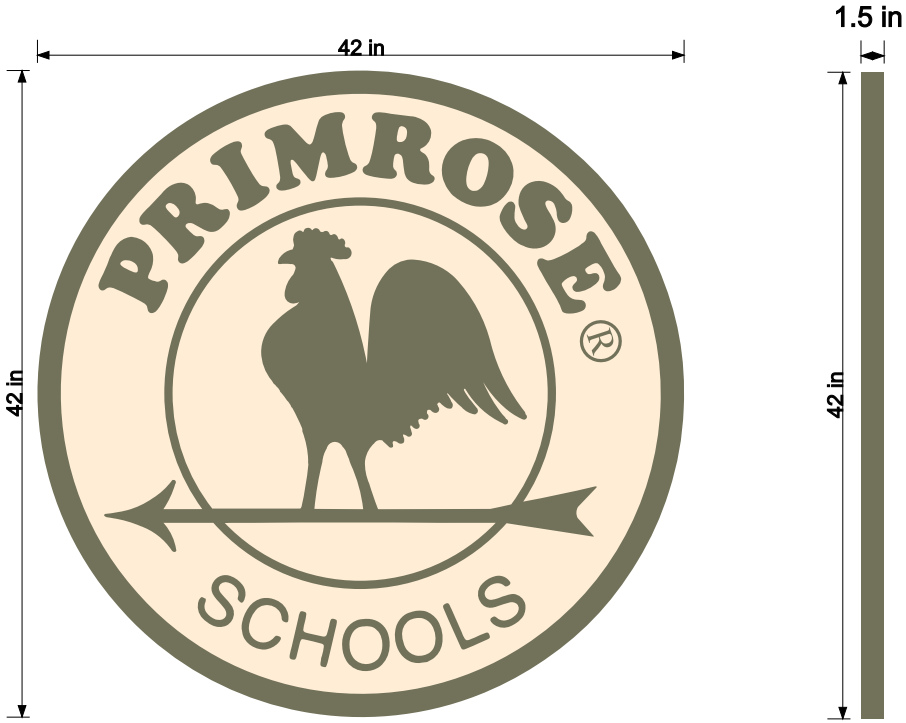
SITE DETAILS

A7.1

Monument Sign Panels and Logos



42" Sandblasted Logo



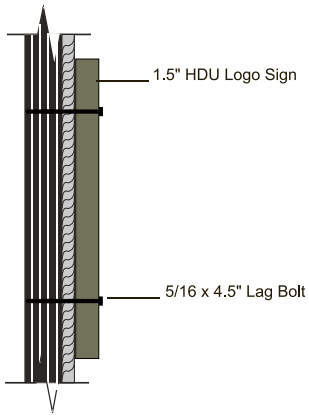
Colors & Finishes

Colors shown here may not exactly match manufacturers color chart swatch or actual sample.

C-1 112 Tate Olive Green

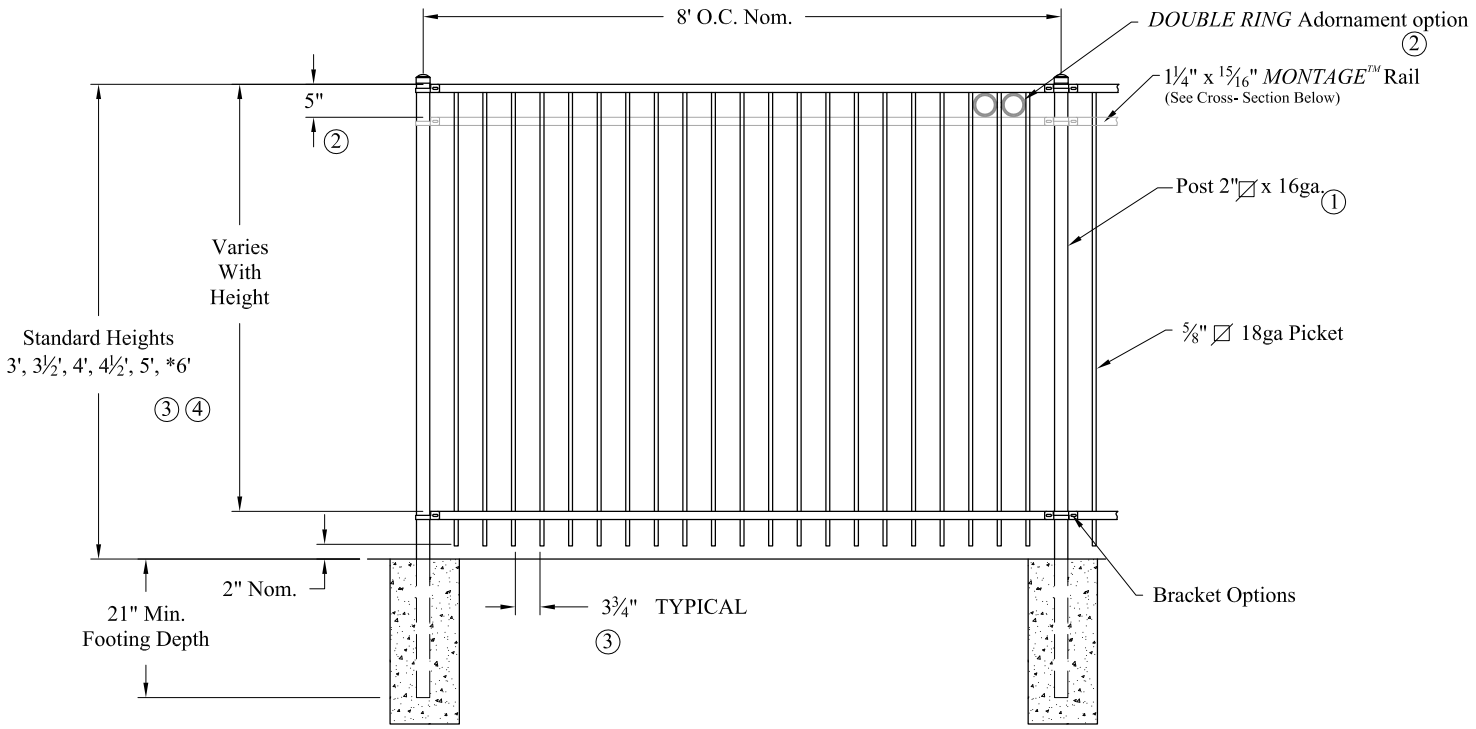
C-2 6119 Antique White

Lag Bolt Mounted HDU Logo Sign NTS



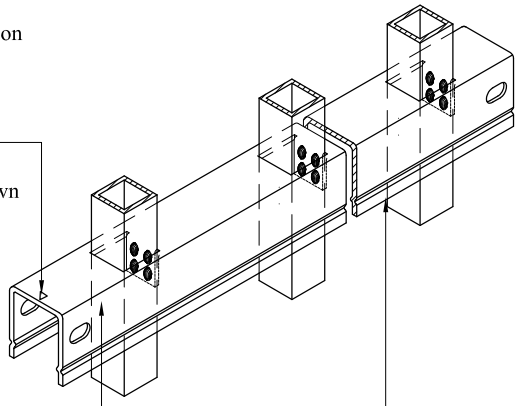
Sign made from 1.5" HDU High Density Urethane.
Letters, Logo and Border painted Tate Olive Green.
Background Painted 6119 Antique White
Bolt Sign to Studs Using Four 5/16 x 4.5" Lag Bolts

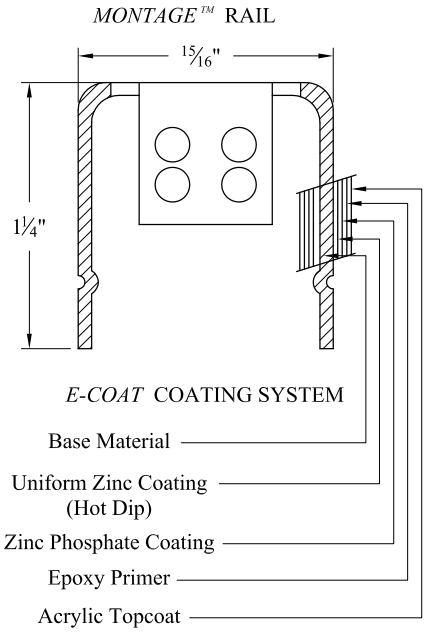
42" Sandblasted HDU (High Density Urethane) Logo
Text and border painted Tate Olive Green BM HC 112
Background painted SW 6119 Antique White

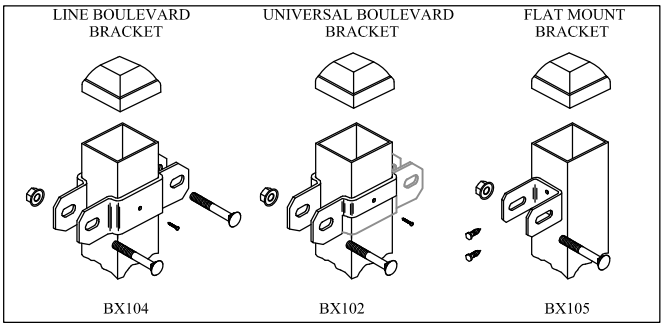


NOTES:

1.) Post size depends on fence height and wind loads. See *MONTAGE™* specifications for post sizing chart.
2.) Third rail required for *Double Rings*.
3.) Available in 3" air space and/or Flush Bottom on most heights.
4.) Three rails required for 6' tall.







RESIDENTIAL WELDED STEEL PANEL

PRE-ASSEMBLED

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

RMISO

Title: MONTAGE MAJESTIC 2/3-RAIL			
DR: CI	SH . 1of 1	SCALE: DO NOT SCALE	
CK: ME	Date 7-19-11		REV: c

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Tulsa, OK 74116
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www.ameristarfence.com

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PRIMROSE STANDARD PLAYGROUND PACKAGE 2017

Standard Primrose Package

- Infant Area
  - PlayBuilder 3 Panel Infant Unit
  - 12’ x 12’ x 8’ Independent Shade
- Early Preschool Area (EPS)
  - Tot Tree (special colors for Primrose)
  - PlayBuilder Ground Unit
  - 14’ x 14’ Shade Topper (Integrated into Playground Structure)
  - MaxPlay Swing – 8’ Beam with Tot Seats
- Pre-School Area
  - KidBuilder Firetruck Unit
  - 18’ x 30’ Shade Topper (Integrated into Playground Structure)
  - MaxPlay Swing – 8’ Beam with Belt Seats
  - 4- Seat Teeter
- After School Area
  - PlayBuilder After School Unit
  - 18’ x 18’ Shade Topper (Integrated into Playground Structure)
  - Tire Swing and Beam Cover
  - Basketball Goal

Additional Items Needed:

- Junior Picnic Tables – Qty 3 (EPS, PS, and AS Areas)
- Kid Timbers
  - Primrose Patch (Qty 6)
  - Loose Fill Border if needed

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INFANT PLAY – 3 PANEL UNIT AND N 12’ X 12’ X 8’ IND SHADE GREEN

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EARLY PRESCHOOL- PB GROUND UNIT WITH SHADE TOPPER

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EARLY PRESCHOOL- MAXPLAY TOT SWINGS

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EARLY PRESCHOOL- TOT TREE

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PRESCHOOL- FIRETRUCK UNIT WITH SHADE TOPPER

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PRESCHOOL- 4 SEAT TEETER

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PRESCHOOL- BELT SWINGS

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AFTER SCHOOL- PB UNIT WITH SHADE TOPPER

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AFTER SCHOOL- TIRE SWING W/BEAM COVER

Beam Cover

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ADDITIONAL ITEMS – PRIMROSE PATCH

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ADDITIONAL ITEMS – JR PICNIC TABLE – ONE IN EACH PLAY AREA

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ADDITIONAL ITEMS – BASKETBALL GOAL

Kid Timbers and Base Mats

Kid Timbers – Border Panels for Loose Fill Surfacing

Base Mats – entries and under swings(13 per standard package) Still ordered with turf surfacing

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PRIMROSE PLAYGROUND PACKAGE 2017 UPGRADES

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Independent Shades

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 7.4

Subject: Authorize the Hire of Machell Bentley as the Police Administrative Assistant

Prepared By: Stacy Scharber, Assistant City Administrator

Recommended City Council Action
Motion to hire Machell Bentley as the Police Administrative Assistant.

Overview / Background
The City received 32 applications/resumes for the position of Police Administrative Assistant. Chief Beahen and I conducted phone interviews on eight candidates. Ms. Bentely was invited to meet with us in person to discuss the position.

Machell has over 16 years of experience working this position for the cities of Brooklyn Park (3) and Edina (13). She comes highly recommended by her peers and her supervisors, as evidenced in her reference checks. She has successfully completed her background investigation and is recommended for hire.

Upon affirmative vote by the City Council, Machell's start date will be November 12, 2018.

Staff Recommendation
Motion to hire Machell Bentley as the Police Administrative Assistant.

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 7.5

Subject: Approval of Deputy Clerk/Communications Coordinator Position Description and Authorize Hiring Paul Byun to the Position

Prepared By: Steve Stahmer, City Administrator and Stacy Scharber, Assistant City Administrator

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Recommended City Council Action
Motion to approve the Deputy Clerk/Communications Coordinator position description and to authorize the hire of Paul Byun to the position.

Overview / Background
In February, Council authorized the transition of the planning related duties of the current Deputy Clerk to our Associate Planner position, as part of the succession planning for the Deputy Clerk position. During the budget process, staff has identified our current intern, Paul Byun, as being an excellent candidate to take on the role of Deputy Clerk. In addition to the Deputy Clerk duties, staff has added duties for a Communications Coordinator to assist the I.S. Director. These added duties will provide I.S. Director Greninger much needed assistance with the City's website (making more timely updates), the City's Facebook page, as well as updates to other approved social media. In addition, this position will be generating the City's newsletter, which we hope to bring 100% in-house in the near future. With having this as an in-house item, staff's intent is to increase the number of newsletter issues per year.

Paul is currently finishing his Bachelor's degree in Public Administration, with an anticipated graduation date of May, 2019. As evidenced in his work during the Park Referendum information process, Paul has a strong background in communications and has been assisting I.S. Director Greninger during the past several months with website and social media updates.

The hire would be a backfill of the Deputy Clerk position, at a lower hourly rate, within the same grade. The current incumbent is retiring effective December 3, 2018.

Staff is confident in Paul's ability to meet the duties of the position and highly recommends him for the hire.

Staff Recommendation
Motion to approve the Deputy Clerk/Communications Coordinator position description and to authorize the hire of Paul Byun to the position.

ATTACHMENTS:
Description

Position Description

CITY OF ROGERS ***Job Description***

Title: Deputy Clerk/Communications Coordinator	**FLSA Status:** Non-exempt
Department: Administration	**Position Status:** Regular Full-Time
Accountable To: Assistant City Administrator/Clerk and I.S. Director	**Salary Grade:** 9
Supervision of Others: None	**Revision Date:** October 2018

POSITION SUMMARY

Non-supervisory executive position which performs a variety of detailed, responsible, and confidential administrative support including, but not limited to: coordinating administrative details, preparing correspondence, extensive use of computer applications, and collection and organization of information for both internal and external dissemination.

ESSENTIAL DUTIES AND RESPONSIBILITIES

Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions. Essential functions listed below are intended as illustrations of the various types of work that may be performed. The omission of specific duties does not exclude them if the work is similar, related or a logical assignment to the positon.

Deputy Clerk:

- Assists the City Clerk in the maintenance of the official seal and official City records; Ordinances, Resolutions, filed agreements with Hennepin County, etc.
- Assists the City Administrator and Assistant City Administrator in all clerical functions including but not limited to: typing of agendas and memos to the City Council. Also services as a back-up assistant to Planning Commission, Liquor Commission, and other commissions of the City as needed
- Attends City Council meetings and takes minutes of the meetings for permanent record
- Electronic preparation of packets and agendas for the City Council, including the continuous updating of the City's website
- Maintains electronic house files for non-project related matters
- Assists the City Clerk in the preparation in elections, insuring compliance with election laws and procedures. Assists in the coordination of absentee ballot voting. Performs election day and post-election day activities
- Assists with the coordination of codification updates on an annual basis to the City's code books and online system
- Performs research on an as-needed basis for all City departments related to all historical files of the City
- Assists in the day-to-day operations of the City including assistance to the City Administrator, Assistant City Administrator/Clerk, and other department heads
- Serves as back-up support to the City Hall Administrative Assistant
- Other duties as assigned by the Assistant City Administrator/Clerk or City Administrator

Communications Coordinator:

- Coordinates external and internal communications
- Assists the I.S. Director with content updates to the City's website
- Assists with the administration of the City's social media and e-marketing accounts, consistent with City policies and prepares content for review and approval
- Receives all City newsletter content, prepares a draft newsletter for review and approval, and assists with the preparation for mailing to residents
- Creation and use of limited graphic design and has familiarity with copyright and trademark issues as it relates to City business
- Assists with the management and collection of City photographs, and photographs City events and facilities as directed
- Other duties as assigned by the I.S. Director

COMMON PERFORMANCE STANDARDS

Communications

- Must have the ability to actively listen to others for understanding of their needs and situations, ability to speak and write English clearly
- Must be able to assertively control conversations in order to quickly and accurately gather pertinent information and be able to communicate this information professionally and precisely to the proper recipient
- Must be able to read and understand correspondence, memoranda and directives.
- Exceptional writing and editing skills, including the ability to write for a variety of audiences through different communication mediums.

Decision Making

- Must act in a decisive manner using good judgment
- Must be able to assess problems and situations and be able to anticipate needs and evaluate alternatives
- Must be able to effectively interpret the policies and objectives of the department

Interpersonal Relationships

- Must be consistent in dealing with people, must be sensitive to others' problems and concerns without direct involvement
- Must exclude personal biases from work performance
- Must have the ability to accept criticism and/or discipline, must have tact and diplomacy
- Must strive to promote a cooperative atmosphere in the department
- Must have a positive attitude

Professional Attitude

- Must have commitment to the organization, willingness to take initiative, dependability, maturity in relationships with others, and self-confidence
- Must represent the organization to other agencies staff and citizens with a courteous, helpful, accurate and business-like attitude in all telephone and personal contact

Quality of Work

- Must be able to produce quality, accurate work
- Must be able to detect and correct errors
- Must be able to utilize work time properly and productively
- Must have the ability to maintain records in an accurate and accessible manner

Technical Knowledge

- Must have knowledge of City business functions
- Must have knowledge and ability to understand and discern legislative, local, state, and federal regulations
- Must have working knowledge of computers and election data processing equipment
- Must have the ability to perform arithmetic computations accurately and quickly, ability to communicate verbally and in writing effectively
- Must have the ability to establish successful working relationships

WORK ENVIRONMENT

Work is generally performed in an office environment with standard office equipment and furnishings available. Occasionally, may be required to attend off-site trainings.

PHYSICAL REQUIREMENTS

- Must have the ability to read and discern visual images on a variety of media.
- Must have the ability to operate a personal computer and applicable software (word processing, spreadsheet, accounting), 10-key adding machine or calculator, fax, copier, and telephone
- Must be able to sit for long periods of time
- May, occasionally, have to lift 25 pounds or more

MINIMUM REQUIREMENTS

- Bachelor's Degree in related field (i.e. Public Administration, Communications, etc.)
- Previous municipal experience

PREFERRED QUALIFICATIONS

- Certified Minnesota Municipal Clerk

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 7.6

Subject: Discussion on Transfer Title of the 1950 Chevrolet Fire Truck from the City of Rogers to the Rogers Volunteer Fire Auxilliary

Prepared By: Stacy Scharber, Assistant City Administrator

Recommended City Council Action

Pending Council discussion:
Motion to authorize staff and Attorney Carson to prepare a purchase and storage agreement between the City of Rogers and the Rogers Volunteer Fire Auxiliary.

Overview / Background

City staff has been approached by members of the Rogers Fire Auxiliary to purchase the 1950 Chevrolet Tanker truck, currently stored at the 12913 Main Street location (old City Hall/Police Dept.).

The Fire Auxiliary would like to purchase the vehicle to be able to use it as a parade vehicle to represent the Fire Department and Fire Auxiliary. This will require them to invest some labor into repairing the vehicle and providing their own insurance.

They are further requesting that the City continue to store the vehicle at the Main Street location, with access to the vehicle by a limited number (2 - 3) of paid-on-call firefighters.

In return, City staff is recommending the buy-back right to the vehicle for the same $1 they are proposing to purchase it for.

Staff recommends an agreement be drafted by Attorney Carson for signature between the City and the Auxiliary, outlining the terms described above. The agreement will be brought back to a future Council meeting under consent agenda.

Staff Recommendation

Motion to authorize staff and Attorney Carson to prepare a purchase and storage agreement between the City of Rogers and the Rogers Volunteer Fire Auxiliary.

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 9.1

Subject: September 2018 Financial Reports

Prepared By: Lisa L. Herbert, Finance Director

Recommended City Council Action
No action required.

Overview / Background
Please find the attached financial reports for September 2018. The information is unaudited.

General Fund and RAC Special Revenue Fund
Utility Enterprise Funds - Water, Sewer, Storm Sewer
Liquor Enterprise Funds – On Sale, Off Sale
Cash Report – all Funds
Investment Report

Staff Recommendation
Monthly Financial Reports for Council review - no action required.

ATTACHMENTS:

Description
General Fund and RAC Special Revenue Fund
Utility Enterprise Funds - Water, Sewer, Storm Sewer
Liquor Enterprise Funds - On Sale, Off Sale
Cash Report - All Funds
Investment Report

General Fund
Budget to Actual Financial Reports as of September 30, 2018

Fund/Program/Department		2017 YTD Final Jan - Dec	2018 Adopted Annual Budget	2018 Year to Date September	2018 Year to Date Budget Variance	2018 YTD % Collect/ Exp
Revenues						
100-000-0000	General Fund Revenue	$ 5,652,704.02	$ 5,823,170.00	$ 3,262,987.69	$ 2,560,182.31	56.03%
100-410-1110	Mayor & Council Revenue	124.95	0.00	10.17	(10.17)	N/A
100-410-1320	Administrator Revenue	0.00	0.00	0.00	0.00	N/A
100-410-1325	Other Administration Revenue	136,303.61	69,630.00	169,213.76	(99,583.76)	243.02%
100-410-1330	Information Systems Revenue	380.72	0.00	550.99	(550.99)	N/A
100-410-1410	Elections Revenue	1,007.40	0.00	7.57	(7.57)	N/A
100-410-1520	Finance Revenue	85.79	0.00	234.10	(234.10)	N/A
100-410-1550	Assessing Revenue	19,852.88	14,500.00	20,700.00	(6,200.00)	142.76%
100-410-1600	Legal Services Revenue	0.00	0.00	0.00	0.00	N/A
100-410-1910	Planning & Zoning Revenue	67,403.96	32,300.00	104,507.35	(72,207.35)	323.55%
100-410-1940	General Government Buildings Revenue	317.62	0.00	116.06	(116.06)	N/A
100-410-1941	Community Room Revenue	38,013.67	41,250.00	30,785.24	10,464.76	74.63%
100-410-1950	General Engineering Revenue	206,473.91	154,712.00	122,353.53	32,358.47	79.08%
100-420-2100	Police Protection & Admin. Revenue	419,725.47	386,251.00	156,718.24	229,532.76	40.57%
100-420-2110	Police Reserves Revenue	0.00	0.00	11.70	(11.70)	N/A
100-420-2210	Fire Fighting & Administration Revenue	162,987.58	167,570.00	165,773.78	1,796.22	98.93%
100-420-2230	Fire Prevention Revenue	10.20	0.00	13.78	(13.78)	N/A
100-420-2290	Fire Relief Association Revenue	107,936.60	106,937.00	4,000.00	102,937.00	3.74%
100-420-2400	Building Inspection - Contract Revenue	629,642.07	512,987.00	652,555.13	(139,568.13)	127.21%
100-420-2500	Emergency Management Revenue	8,786.12	4,500.00	12,403.97	(7,903.97)	275.64%
100-420-2600	Traffic Signals Revenue	95.68	0.00	5,652.63	(5,652.63)	N/A
100-420-2700	Animal Control Revenue	528.00	500.00	347.00	153.00	69.40%
100-430-3000	General Public Works Revenue	12,215.70	8,050.00	23,745.11	(15,695.11)	294.97%
100-430-3121	Paved Streets Revenue	183,090.60	199,416.00	211,317.71	(11,901.71)	105.97%
100-430-3122	Unpaved Streets Revenue	0.00	0.00	7.79	(7.79)	N/A
100-430-3124	Sidewalks Revenue	1,450.00	0.00	0.00	0.00	N/A
100-430-3125	Ice & Snow Removal Revenue	20.03	0.00	15.25	(15.25)	N/A
100-430-3160	Street Lighting Revenue	743.34	0.00	125.37	(125.37)	N/A
100-430-3245	Recycling Revenue	178,136.83	171,984.00	112,325.53	59,658.47	65.31%
100-430-3260	Weed/Tree/Grass Control Revenue	10,600.97	10,000.00	11,075.00	(1,075.00)	110.75%
100-450-5120	Community Recreation Revenue	69,529.21	74,700.00	46,544.72	28,155.28	62.31%
100-450-5130	Rockin' Rogers Days Revenue	1,014.83	0.00	0.00	0.00	N/A
100-450-5186	Senior Recreation/Transp. Revenue	24,095.81	28,200.00	17,697.68	10,502.32	62.76%
100-450-5200	Parks Revenue	53,861.01	40,567.00	4,010.44	36,556.56	9.89%
100-450-5300	Trails Revenue	0.00	0.00	0.00	0.00	N/A
100-493-9360	Operating Transfers In	204,845.00	225,000.00	0.00	225,000.00	0.00%
100-493-9370	Other Financing Sources - Sale of Assets	4,407.00	0.00	0.00	0.00	N/A
	General Fund Revenue Total	**$ 8,196,390.58**	**$ 8,072,224.00**	**$ 5,135,807.29**	**$ 2,936,416.71**	63.62%
Expenses						
100-410-1110	Mayor & Council Expense	$ 31,268.09	$ 30,079.00	$ 27,728.17	$ 2,350.83	92.18%
100-410-1320	Administrator Expense	0.00	0.00	0.00	0.00	N/A
100-410-1325	Other Administration Expense	575,165.33	596,140.00	486,793.99	109,346.01	81.66%
100-410-1330	Information Systems Expense	217,615.81	240,856.00	181,216.50	59,639.50	75.24%
100-410-1400	Clerk Expense	0.00	0.00	0.00	0.00	N/A
100-410-1405	Deputy Clerk Expense	0.00	0.00	0.00	0.00	N/A
100-410-1410	Elections Expense	3,913.91	15,329.00	8,079.73	7,249.27	52.71%
100-410-1520	Finance Expense	256,287.38	259,802.00	207,218.91	52,583.09	79.76%
100-410-1550	Assessing Expense	135,000.00	145,000.00	72,500.00	72,500.00	50.00%
100-410-1600	Legal Services Expense	0.00	0.00	0.00	0.00	N/A
100-410-1910	Planning & Zoning Expense	163,058.50	190,480.00	144,238.69	46,241.31	75.72%
100-410-1940	General Government Buildings Expense	66,643.25	106,177.00	45,821.20	60,355.80	43.16%
100-410-1941	Community Room Expense	78,818.57	69,999.00	55,708.66	14,290.34	79.58%
100-410-1950	General Engineering Expense	297,803.72	233,939.00	203,468.94	30,470.06	86.98%
100-420-2100	Police Protection & Admin. Expense	2,761,752.45	2,973,855.00	2,265,970.84	707,884.16	76.20%
100-420-2110	Police Reserves Expense	4,262.50	8,400.00	4,761.69	3,638.31	56.69%
100-420-2210	Fire Fighting & Adminsitration Expense	566,543.01	658,409.00	435,470.24	222,938.76	66.14%
100-420-2230	Fire Prevention Expense	1,143.72	3,450.00	987.49	2,462.51	28.62%
100-420-2290	Fire Relief Association Expense	127,436.60	125,437.00	4,000.00	121,437.00	3.19%
100-420-2400	Building Inspection - Contract Expense	197,949.56	166,256.00	159,502.42	6,753.58	95.94%
100-420-2500	Emergency Management Expense	14,387.75	22,750.00	11,707.98	11,042.02	51.46%
100-420-2600	Traffic Signals Expense	20,069.69	20,000.00	7,666.71	12,333.29	38.33%
100-420-2700	Animal Control Expense	3,282.00	3,400.00	2,654.00	746.00	78.06%
100-430-3000	General Public Works Expense	590,881.32	652,170.00	469,651.17	182,518.83	72.01%
100-430-3121	Paved Streets Expense	99,405.14	218,366.00	129,977.76	88,388.24	59.52%
100-430-3122	Unpaved Streets Expense	123,426.06	114,000.00	84,384.74	29,615.26	74.02%
100-430-3124	Sidewalks Expense	23,283.31	40,000.00	1,725.00	38,275.00	4.31%
100-430-3125	Ice & Snow Removal Expense	36,007.59	97,538.00	39,224.38	58,313.62	40.21%
100-430-3160	Street Lighting Expense	92,762.99	83,000.00	53,800.82	29,199.18	64.82%
100-430-3245	Recycling Expense	153,781.40	159,529.00	111,460.47	48,068.53	69.87%
100-430-3260	Weed/Tree/Grass Control Expense	30,152.96	32,000.00	15,674.72	16,325.28	48.98%
100-450-5120	Community Recreation Expense	203,500.93	210,794.00	115,470.74	95,323.26	54.78%
100-450-5130	Rockin' Rogers Days Expense	9,653.59	8,500.00	7,872.47	627.53	92.62%
100-450-5186	Senior Recreation/Transp. Expense	65,351.99	79,502.00	45,971.99	33,530.01	57.82%
100-450-5200	Parks Expense	504,685.69	518,967.00	400,188.09	118,778.91	77.11%
100-493-9360	Operating Transfers Out	113,662.00	0.00	0.00	0.00	N/A
	General Fund Expense Total	**$ 7,568,956.81**	**$ 8,084,124.00**	**$ 5,800,898.51**	**$ 2,283,225.49**	71.76%
100	**General Fund Rev over/(under) Expenses**	**$ 627,433.77**	**$ (11,900.00)**	**$ (665,091.22)**	**$ 653,191.22**	

Rogers Activity Center (RAC) Special Revenue Fund
Budget to Actual Financial Reports as of September 30, 2018

Fund/Program/Department		2017 YTD Final Jan - Dec	2018 Adopted Annual Budget	2018 Year to Date September	2018 Year to Date Budget Variance	2018 YTD % Collect/ Exp
Revenues						
205-450-5205	RAC Revenue	$ 867,659.60	$ 803,964.00	$ 424,477.15	$ 379,486.85	52.80%
205-493-9360	Operating Transfers In	0.00	0.00	0.00	0.00	N/A
	Rogers Activity Center (RAC) Revenue Total	**$ 867,659.60**	**$ 803,964.00**	**$ 424,477.15**	**$ 379,486.85**	52.80%
Expenses						
205-450-5205	RAC Expense	$ 487,796.15	$ 494,594.00	$ 345,870.03	$ 148,723.97	69.93%
205-493-9360	Operating Transfers Out	2,480.00	197,656.00	0.00	197,656.00	0.00%
	Rogers Activity Center (RAC) Expense Total	**$ 490,276.15**	**$ 692,250.00**	**$ 345,870.03**	**$ 346,379.97**	49.96%
205	**Rogers Activity Center (RAC) over/(under) Expenses**	**$ 377,383.45**	**$ 111,714.00**	**$ 78,607.12**	**$ 33,106.88**	

City of Rogers
Municipal Utilities Budget to Actual Report
September 30, 2018

	Water Department					Sewer Department					Storm Sewer Department					Total Municipal Utilities				
	2017 Final Year to Date Jan-Dec	2018 Adopted Budget	2018 Year to Date September	2018 Year to Date Budget Var	2018 % Collected/ Exp	2017 Final Year to Date Jan-Dec	2018 Adopted Budget	2018 Year to Date September	2018 Year to Date Budget Var	2018 % Collected/ Exp	2017 Final Year to Date Jan-Dec	2018 Adopted Budget	2018 Year to Date September	2018 Year to Date Budget Var	2018 % Collected/ Exp	2017 Final Year to Date Jan-Dec	2018 Adopted Budget	2018 Year to Date September	2018 Year to Date Budget Var	2018 % Collected/ Exp
Operating Revenue:																				
Charges for Services	**$ 1,011,899**	**$ 966,300**	**$ 677,264**	**$ 289,036**	**70.09%**	**$ 884,237**	**$ 869,850**	**$ 699,116**	**$ 170,734**	**80.37%**	**$ 537,472**	**$ 524,700**	**$ 408,148**	**$ 116,552**	**77.79%**	**$ 2,433,607**	**$ 2,360,850**	**$ 1,784,529**	**$ 576,321**	**75.59%**
Operating Expenses:																				
Personal Services	$ 228,318	$ 353,976	$ 240,868	$ 113,108	68.05%	$ 227,684	$ 332,593	$ 239,740	$ 92,853	72.08%	$ 128,211	$ 224,093	$ 163,612	$ 60,481	73.01%	$ 584,213	$ 910,662	$ 644,219	$ 266,443	70.74%
Supplies	124,471	208,350	109,049	99,301	52.34%	59,070	58,750	49,138	9,612	83.64%	12,515	16,250	14,453	1,797	88.94%	196,056	283,350	172,640	110,710	60.93%
Other Services and charges*	304,714	304,500	267,112	37,388	87.72%	274,806	287,600	213,265	74,335	74.15%	120,739	174,800	110,941	63,859	63.47%	700,259	766,900	591,318	175,582	77.10%
Depreciation	542,747	550,000	-	550,000	0.00%	381,170	377,000	-	377,000	0.00%	201,198	205,000	-	205,000	0.00%	1,125,115	1,132,000	-	1,132,000	0.00%
Total Operating Expenses:	**$ 1,200,250**	**$ 1,416,826**	**$ 617,029**	**$ 799,797**	**43.55%**	**$ 942,730**	**$ 1,055,943**	**$ 502,143**	**$ 553,800**	**47.55%**	**$ 462,663**	**$ 620,143**	**$ 289,006**	**$ 331,137**	**46.60%**	**$ 2,605,643**	**$ 3,092,912**	**$ 1,408,177**	**$ 1,684,735**	**45.53%**
Net Operating Income (Loss)	**$ (188,351)**	**$ (450,526)**	**$ 60,235**	**$ (510,761)**		**$ (58,494)**	**$ (186,093)**	**$ 196,973**	**$ (383,066)**		**$ 74,809**	**$ (95,443)**	**$ 119,142**	**$ (214,585)**		**$ (172,036)**	**$ (732,062)**	**$ 376,351**	**$ (1,108,413)**	
Non-operating Revenue (expenses):																				
Investment Earnings	$ 41,338	$ 35,000	$ 28,617	$ 6,383	81.76%	$ 18,858	$ 19,000	$ 12,824	$ 6,176	67.49%	$ 12,831	$ 10,000	$ 9,970	$ 30	99.70%	$ 73,026	$ 64,000	$ 51,411	$ 12,589	80.33%
Interest expense	(28,845)	(26,920)	(13,460)	(13,460)	50.00%	-	-	-	-	N/A	-	-	-	-	N/A	(28,845)	(26,920)	(13,460)	(13,460)	50.00%
Bond fees/discounts	(242)	(225)	(414)	189	184.00%	-	-	-	-	N/A	-	-	-	-	N/A	(242)	(225)	(414)	189	184.00%
Total Non-operating revenue (expenses):	**$ 12,251**	**$ 7,855**	**$ 14,743**	**$ (6,888)**	**187.69%**	**$ 18,858**	**$ 19,000**	**$ 12,824**	**$ 6,176**	**67.49%**	**$ 12,831**	**$ 10,000**	**$ 9,970**	**$ 30**	**99.70%**	**$ 43,939**	**$ 36,855**	**$ 37,537**	**$ (682)**	**101.85%**
Income (Loss) before Contributions & Transfers	**$ (176,100)**	**$ (442,671)**	**$ 74,978**	**$ (517,649)**		**$ (39,636)**	**$ (167,093)**	**$ 209,797**	**$ (376,890)**		**$ 87,640**	**$ (85,443)**	**$ 129,113**	**$ (214,556)**		**$ (128,097)**	**$ (695,207)**	**$ 413,888**	**$ (1,109,095)**	
Contributions from Other Funds	$ 816,597	$ 300,000	$ -	$ 300,000	0.00%	$ 144,037	$ 175,000	$ -	$ 175,000	0.00%	$ 122,335	$ 80,000	$ -	$ 80,000	0.00%	$ 1,082,969	$ 555,000	$ -	$ 555,000	0.00%
Miscellaneous Revenue (PERA Pension)	36	-	-	-	N/A	36	-	-	-	N/A	23	-	-	-	N/A	95	-	-	-	N/A
Transfers in	134,020	131,920	-	131,920	0.00%	-	-	-	-	N/A	-	-	-	-	N/A	134,020	131,920	-	131,920	0.00%
Transfers out	(75,000)	(75,000)	-	(75,000)	0.00%	(77,365)	(77,365)	-	(77,365)	0.00%	(15,000)	(15,000)	-	(15,000)	0.00%	(167,365)	(167,365)	-	(167,365)	0.00%
Net Income (Loss)	**$ 699,552**	**$ (85,751)**	**$ 74,978**	**$ (160,729)**		**$ 27,072**	**$ (69,458)**	**$ 209,797**	**$ (279,255)**		**$ 194,998**	**$ (20,443)**	**$ 129,113**	**$ (149,556)**		**$ 921,622**	**$ (175,652)**	**$ 413,888**	**$ (589,540)**	
Net Income as a % of Total Operating Revenue:	***69%***	***-9%***	***11%***			***3%***	***-8%***	***30%***			***36%***	***-4%***	***32%***			***38%***	***-7%***	***23%***		

*yr to date include large capital purchases that will be reclassed to balance sheet at year end

City of Rogers

Municipal Liquor Budget to Actual Report

September, 2018

	On Sale Liquor Department (Muni)					Off Sale Liquor Department (RWAS)					Total Liquor				
	2017 Final Year to Date Jan-Dec	2018 Adopted Budget	2018 Year to Date September	2018 Year to Date Budget Var	2018 % Collected/ Exp	2017 Final Year to Date Jan-Dec	2018 Adopted Budget	2018 Year to Date September	2018 Year to Date Budget Var	2018 % Collected/ Exp	2017 Final Year to Date Jan-Dec	2018 Adopted Budget	2018 Year to Date September	2018 Year to Date Budget Var	2018 % Collected/ Exp
Operating Revenue:															
Sales	$ 378,977	$ 382,400	$ 304,867	$ 77,533	79.72%	$ 3,138,699	$ 3,066,300	$ 2,364,015	$ 702,285	77.10%	$ 3,517,676	$ 3,448,700	$ 2,668,882	$ 779,818	77.39%
Cost of Sales	(109,827)	(104,900)	(87,888)	(17,012)	83.78%	(2,339,011)	(2,261,300)	(1,758,400)	(502,900)	77.76%	(2,448,838)	(2,366,200)	(1,846,288)	(519,912)	78.03%
Gross Profit	**$ 269,150**	**$ 277,500**	**$ 216,979**	**$ 60,521**	**78.19%**	**$ 799,688**	**$ 805,000**	**$ 605,615**	**$ 199,385**	**75.23%**	**$ 1,068,838**	**$ 1,082,500**	**$ 822,595**	**$ 259,905**	**75.99%**
Operating Expenses:															
Personal Services	$ 108,267	$ 171,241	$ 123,028	$ 48,213	71.84%	$ 237,952	$ 371,333	$ 269,777	$ 101,556	72.65%	$ 346,219	$ 542,574	$ 392,805	$ 149,769	72.40%
Supplies	18,454	12,650	11,412	1,238	90.22%	9,181	8,325	9,703	(1,378)	116.55%	27,635	20,975	21,115	(140)	100.67%
Other Services and charges	104,010	72,410	78,266	(5,856)	108.09%	143,437	123,700	119,870	3,830	96.90%	247,447	196,110	198,135	(2,025)	101.03%
Depreciation	6,569	8,000	-	8,000	0.00%	26,307	26,000	-	26,000	0.00%	32,877	34,000	-	34,000	0.00%
Total Operating Expenses:	**$ 237,300**	**$ 264,301**	**$ 212,706**	**$ 51,595**	**80.48%**	**$ 416,877**	**$ 529,358**	**$ 399,350**	**$ 130,008**	**75.44%**	**$ 654,177**	**$ 793,659**	**$ 612,055**	**$ 181,604**	**77.12%**
Net Operating Income (Loss)	**$ 31,850**	**$ 13,199**	**$ 4,274**	**$ 8,925**		**$ 382,811**	**$ 275,642**	**$ 206,266**	**$ 69,376**		**$ 414,662**	**$ 288,841**	**$ 210,540**	**$ 78,301**	
Non-operating Revenue (expenses):															
Investment Earnings	$ -	$ -	$ -	$ -	N/A	$ (1,139)	$ -	$ 3,275	$ (3,275)	N/A	$ (1,139)	$ -	$ 3,275	$ (3,275)	N/A
Interest expense	-	-	-	-	N/A	-	-	-	-	N/A	-	-	-	-	N/A
Bond fees/discounts	-	-	-	-	N/A	-	-	-	-	N/A	-	-	-	-	N/A
Total Non-operating revenue (expenses):	**$ -**	**$ -**	**$ -**	**$ -**	**N/A**	**$ (1,139)**	**$ -**	**$ 3,275**	**$ (3,275)**	**N/A**	**$ (1,139)**	**$ -**	**$ 3,275**	**$ (3,275)**	**N/A**
Income (Loss) before Contributions & Transfers	**$ 31,850**	**$ 13,199**	**$ 4,274**	**$ 8,925**		**$ 381,672**	**$ 275,642**	**$ 209,541**	**$ 66,101**		**$ 413,522**	**$ 288,841**	**$ 213,815**	**$ 75,026**	
Contributions from Other Funds	$ -	$ -	$ -	$ -	N/A	$ -	$ -	$ -	$ -	N/A	$ -	$ -	$ -	$ -	N/A
Prior Period Adjustments	-	-	-	-	N/A	-	-	-	-	N/A	-	-	-	-	N/A
Miscellaneous Revenue (PERA Pension)	20	-	-	-	N/A	44	-	-	-	N/A	64	-	-	-	N/A
Transfers out	(11,952)	(13,000)	(9,231)	(3,770)	71.00%	(200,000)	(225,000)	-	(225,000)	0.00%	(211,952)	(238,000)	(9,231)	(228,770)	3.88%
Net Income (Loss)	**$ 19,918**	**$ 199**	**$ (4,957)**	**$ 5,156**		**$ 181,716**	**$ 50,642**	**$ 209,541**	**$ (158,899)**		**$ 201,634**	**$ 50,841**	**$ 204,584**	**$ (153,743)**	
Net Income as a % of Total Operating Revenue:	***7%***	***0%***	***-2%***			***23%***	***6%***	***35%***			***19%***	***5%***	***25%***		

General Ledger
Cash Report

User: bbruska
Printed: 10/16/2018 7:51:08 PM
Period 09 - 09
Fiscal Year 2018

Account Number	Description	Beg Bal	Debits	Credits	End Bal
100	**General Fund**				
100-000-0000-10100-0000	Cash & Investments	6,698,085.91	411,725.92	683,997.79	6,425,814.04
100-000-0000-10100-4002	Cash & Invest-Warning SirenFee	48,700.00	3,300.00	0.00	52,000.00
100-000-0000-10100-4006	Cash&Invest-PublBldgEnergyCons	14,415.40	0.00	380.00	14,035.40
100	**General Fund**	**6,761,201.31**	**415,025.92**	**684,377.79**	**6,491,849.44**
200	**Revolving Loan**				
200-000-0000-10100-0000	Cash & Investments	167,091.59	3,636.96	2,362.01	168,366.54
200	**Revolving Loan**	**167,091.59**	**3,636.96**	**2,362.01**	**168,366.54**
201	**Tower & Billboard Leases**				
201-000-0000-10100-0000	Cash & Investments	1,008,262.89	14,896.72	0.00	1,023,159.61
201	**Tower & Billboard Leases**	**1,008,262.89**	**14,896.72**	**0.00**	**1,023,159.61**
202	**Police Forfeitures**				
202-000-0000-10100-0000	Cash & Investments	2,279.37	5,774.37	0.00	8,053.74
202	**Police Forfeitures**	**2,279.37**	**5,774.37**	**0.00**	**8,053.74**
203	**Economic Development**				
203-000-0000-10100-0000	Cash & Investments	22,030.71	0.00	0.00	22,030.71
203-000-0000-10100-4008	Cash & Invest - Abatement	73,564.00	0.00	0.00	73,564.00
203	**Economic Development**	**95,594.71**	**0.00**	**0.00**	**95,594.71**
205	**Rogers Activity Center (Arena)**				
205-000-0000-10100-0000	Cash & Investments	361,900.38	12,155.52	41,917.37	332,138.53
205-000-0000-10100-4018	Cash - RAC Sinking Fund	547,745.00	0.00	0.00	547,745.00
205	**Rogers Activity Center (Arena)**	**909,645.38**	**12,155.52**	**41,917.37**	**879,883.53**
328	**2008B G.O. Impr Rfd Bonds**				
328-000-0000-10100-0000	Cash & Investments	205,517.68	0.00	0.00	205,517.68
328	**2008B G.O. Impr Rfd Bonds**	**205,517.68**	**0.00**	**0.00**	**205,517.68**
330	**2015A AbatementBnds(2006 refi)**				
330-000-0000-10100-0000	Cash & Investments	101,740.41	0.00	0.00	101,740.41
330	**2015A AbatementBnds(2006 refi)**	**101,740.41**	**0.00**	**0.00**	**101,740.41**
334	**2011A G.O. Equip Certificates**				
334-000-0000-10100-0000	Cash & Investments	74,637.04	0.00	0.00	74,637.04
334	**2011A G.O. Equip Certificates**	**74,637.04**	**0.00**	**0.00**	**74,637.04**
335	**2011B G.O. CIP Bonds**				
335-000-0000-10100-0000	Cash & Investments	278,897.06	0.00	0.00	278,897.06
335	**2011B G.O. CIP Bonds**	**278,897.06**	**0.00**	**0.00**	**278,897.06**
336	**2011C Txbl G.O. TIF Bonds**				
336-000-0000-10100-0000	Cash & Investments	0.00	0.00	0.00	0.00
336	**2011C Txbl G.O. TIF Bonds**	**0.00**	**0.00**	**0.00**	**0.00**
340	**2014A G.O. Bonds (CIP&EqCert)**				
340-000-0000-10100-0000	Cash & Investments	185,125.09	0.00	0.00	185,125.09
340	**2014A G.O. Bonds (CIP&EqCert)**	**185,125.09**	**0.00**	**0.00**	**185,125.09**
341	**2015A GO Bnds RD Ext&Int**				
341-000-0000-10100-0000	Cash & Investments	306,361.74	0.00	0.00	306,361.74

Account Number	Description	Beg Bal	Debits	Credits	End Bal
341	**2015A GO Bnds RD Ext&Int**	**306,361.74**	**0.00**	**0.00**	**306,361.74**
362	**2003 G.O. TIF Bonds**				
362-000-0000-10100-0000	Cash & Investments	0.00	0.00	0.00	0.00
362	**2003 G.O. TIF Bonds**	**0.00**	**0.00**	**0.00**	**0.00**
400	**Capital Improvement Projects**				
400-000-0000-10100-0000	Cash & Investments	198,757.58	9,015.14	18,406.89	189,365.83
400-000-0000-10100-4005	Cash & Invest - IT SinkingFund	63,520.47	0.00	9,015.14	54,505.33
400-000-0000-10100-4010	Cash - Equipment Snkg Fund	575,278.82	0.00	0.00	575,278.82
400-000-0000-10100-4011	Cash - Fire Stn Sinking Fund	72,655.27	0.00	0.00	72,655.27
400-000-0000-10100-4012	Cash - Gen Govt Bldgs SnkgFund	229,791.59	0.00	0.00	229,791.59
400	**Capital Improvement Projects**	**1,140,003.73**	**9,015.14**	**27,422.03**	**1,121,596.84**
401	**Pavement Mgmt Program (PMP)**				
401-000-0000-10100-0000	Cash & Investments	522,260.30	19,295.00	348,940.85	192,614.45
401	**Pavement Mgmt Program (PMP)**	**522,260.30**	**19,295.00**	**348,940.85**	**192,614.45**
402	**Revolving Capital**				
402-000-0000-10100-0000	Cash & Investments	1,537,395.61	12,227.75	17,378.75	1,532,244.61
402-000-0000-10100-4009	Cash - KinghornDev Trnsp&Util	15,000.00	0.00	0.00	15,000.00
402-000-0000-10100-4014	Cash Paved StrReconstr SnkgFd	0.00	0.00	364.00	-364.00
402-000-0000-10100-4015	Cash Unpvd Streets Snkg Fund	371,842.05	0.00	0.00	371,842.05
402-000-0000-10100-4908	Cash - HenCo 101144 Proj(ROW)	288,321.08	0.00	0.00	288,321.08
402-000-0000-10100-4999	Cash&Inv-429 AssmtProjCloseout	213,834.79	0.00	0.00	213,834.79
402-000-0000-10100-5000	Cash & Inv-Trnsprtn Infrastruc	2,228,148.62	78,200.00	11,863.75	2,294,484.87
402-000-0000-10100-5002	Cash & Inv-Territorial CSAH116	47,589.69	0.00	0.00	47,589.69
402-000-0000-10100-5003	Cash & Inv -KingEst FletcherLn	75,773.23	0.00	0.00	75,773.23
402-000-0000-10100-5008	Cash&Inv-BrocktonMdwCSAH13144	600,428.82	0.00	0.00	600,428.82
402	**Revolving Capital**	**5,378,333.89**	**90,427.75**	**29,606.50**	**5,439,155.14**
403	**Fire Department Capital Outlay**				
403-000-0000-10100-0000	Cash & Investments	238,820.63	963.40	0.00	239,784.03
403	**Fire Department Capital Outlay**	**238,820.63**	**963.40**	**0.00**	**239,784.03**
404	**Park Dedication**				
404-000-0000-10100-0000	Cash & Investments	1,044,050.62	59,500.00	2,768.17	1,100,782.45
404-000-0000-10100-4016	Cash - Parks Sinking Fund	255,071.68	0.00	0.00	255,071.68
404	**Park Dedication**	**1,299,122.30**	**59,500.00**	**2,768.17**	**1,355,854.13**
405	**Water Trunk**				
405-000-0000-10100-0000	Cash & Investments	637,359.02	23,227.50	79,503.15	581,083.37
405	**Water Trunk**	**637,359.02**	**23,227.50**	**79,503.15**	**581,083.37**
406	**Sewer Trunk**				
406-000-0000-10100-0000	Cash & Investments	1,319,330.55	29,460.00	438.25	1,348,352.30
406	**Sewer Trunk**	**1,319,330.55**	**29,460.00**	**438.25**	**1,348,352.30**
407	**WAC**				
407-000-0000-10100-0000	Cash & Investments	2,521,462.54	94,245.66	34,508.61	2,581,199.59
407	**WAC**	**2,521,462.54**	**94,245.66**	**34,508.61**	**2,581,199.59**
408	**RSAC**				
408-000-0000-10100-0000	Cash & Investments	5,957,119.25	117,870.66	86,105.25	5,988,884.66
408	**RSAC**	**5,957,119.25**	**117,870.66**	**86,105.25**	**5,988,884.66**
417	**Reimer Addn (Town Ctr Devel)**				
417-000-0000-10100-0000	Cash & Investments	137,811.74	0.00	0.00	137,811.74
417	**Reimer Addn (Town Ctr Devel)**	**137,811.74**	**0.00**	**0.00**	**137,811.74**
427	**Trail Dedication**				
427-000-0000-10100-0000	Cash & Investments	117,033.69	7,225.00	4,885.00	119,373.69
427-000-0000-10100-4017	Cash - Trail Sinking Fund	229,756.08	0.00	0.00	229,756.08
427	**Trail Dedication**	**346,789.77**	**7,225.00**	**4,885.00**	**349,129.77**
428	**Lions Park**				

Account Number	Description	Beg Bal	Debits	Credits	End Bal
428-000-0000-10100-0000	Cash & Investments	379,125.30	0.00	0.00	379,125.30
428	**Lions Park**	**379,125.30**	**0.00**	**0.00**	**379,125.30**
432	**Rogers Drive Realignment**				
432-000-0000-10100-0000	Cash & Investments	835,811.95	0.00	0.00	835,811.95
432	**Rogers Drive Realignment**	**835,811.95**	**0.00**	**0.00**	**835,811.95**
435	**Boulder PassPulte Homes**				
435-000-0000-10100-0000	Cash & Investments	14,053.01	0.00	0.00	14,053.01
435	**Boulder PassPulte Homes**	**14,053.01**	**0.00**	**0.00**	**14,053.01**
436	**Shaniahs Field (Shamrock)**				
436-000-0000-10100-0000	Cash & Investments	11,738.13	0.00	0.00	11,738.13
436	**Shaniahs Field (Shamrock)**	**11,738.13**	**0.00**	**0.00**	**11,738.13**
438	**Storm Sewer Trunk**				
438-000-0000-10100-0000	Cash & Investments	403,780.25	19,152.50	0.00	422,932.75
438	**Storm Sewer Trunk**	**403,780.25**	**19,152.50**	**0.00**	**422,932.75**
439	**Rogers Drive Trail & Lighting**				
439-000-0000-10100-0000	Cash & Investments	-29,558.45	0.00	0.00	-29,558.45
439	**Rogers Drive Trail & Lighting**	**-29,558.45**	**0.00**	**0.00**	**-29,558.45**
440	**Villas at Fletcher Hills**				
440-000-0000-10100-0000	Cash & Investments	19,081.91	0.00	0.00	19,081.91
440	**Villas at Fletcher Hills**	**19,081.91**	**0.00**	**0.00**	**19,081.91**
445	**Brcktn Area Ind Pk RD Ext&Int**				
445-000-0000-10100-0000	Cash & Investments	0.00	0.00	0.00	0.00
445	**Brcktn Area Ind Pk RD Ext&Int**	**0.00**	**0.00**	**0.00**	**0.00**
446	**Brcktn Area Ind Pk 8113**				
446-000-0000-10100-0000	Cash & Investments	-371,694.64	0.00	2,807.01	-374,501.65
446	**Brcktn Area Ind Pk 8113**	**-371,694.64**	**0.00**	**2,807.01**	**-374,501.65**
447	**Lennar Laurel Creek**				
447-000-0000-10100-0000	Cash & Investments	326,329.25	0.00	8,651.00	317,678.25
447	**Lennar Laurel Creek**	**326,329.25**	**0.00**	**8,651.00**	**317,678.25**
450	**TIF #1 CBD Redevelopment**				
450-000-0000-10100-0000	Cash & Investments	651,684.32	0.00	756.87	650,927.45
450	**TIF #1 CBD Redevelopment**	**651,684.32**	**0.00**	**756.87**	**650,927.45**
456	**TIF #10 Belgarde**				
456-000-0000-10100-0000	Cash & Investments	0.00	0.00	0.00	0.00
456	**TIF #10 Belgarde**	**0.00**	**0.00**	**0.00**	**0.00**
457	**TIF #11 Marfield**				
457-000-0000-10100-0000	Cash & Investments	0.00	0.00	0.00	0.00
457	**TIF #11 Marfield**	**0.00**	**0.00**	**0.00**	**0.00**
458	**TIF #12 202 Housing**				
458-000-0000-10100-0000	Cash & Investments	67,136.25	0.00	24.00	67,112.25
458	**TIF #12 202 Housing**	**67,136.25**	**0.00**	**24.00**	**67,112.25**
459	**TIF #13 Rogers Plaza**				
459-000-0000-10100-0000	Cash & Investments	64,837.65	0.00	24.00	64,813.65
459	**TIF #13 Rogers Plaza**	**64,837.65**	**0.00**	**24.00**	**64,813.65**
460	**TIF #14 Sand Senior Housing**				
460-000-0000-10100-0000	Cash & Investments	287,797.23	0.00	24.00	287,773.23
460	**TIF #14 Sand Senior Housing**	**287,797.23**	**0.00**	**24.00**	**287,773.23**
461	**TIF #15 Wellstead Housing**				
461-000-0000-10100-0000	Cash & Investments	80,844.01	0.00	586.50	80,257.51
461	**TIF #15 Wellstead Housing**	**80,844.01**	**0.00**	**586.50**	**80,257.51**

Account Number	Description	Beg Bal	Debits	Credits	End Bal
462	**TIF #16 Graco**				
462-000-0000-10100-0000	Cash & Investments	8,797.45	0.00	4,636.25	4,161.20
462	**TIF #16 Graco**	**8,797.45**	**0.00**	**4,636.25**	**4,161.20**
601	**Water**				
601-000-0000-10100-0000	Cash & Investments	4,414,012.45	139,048.52	47,848.79	4,505,212.18
601	**Water**	**4,414,012.45**	**139,048.52**	**47,848.79**	**4,505,212.18**
602	**Sewer**				
602-000-0000-10100-0000	Cash & Investments	2,075,034.37	74,666.35	37,867.44	2,111,833.28
602	**Sewer**	**2,075,034.37**	**74,666.35**	**37,867.44**	**2,111,833.28**
603	**Storm Sewer**				
603-000-0000-10100-0000	Cash & Investments	1,607,577.46	44,206.18	22,770.59	1,629,013.05
603	**Storm Sewer**	**1,607,577.46**	**44,206.18**	**22,770.59**	**1,629,013.05**
609	**Municipal Liquor**				
609-000-0000-10100-0000	Cash & Investments	778,133.37	317,429.75	334,913.08	760,650.04
609	**Municipal Liquor**	**778,133.37**	**317,429.75**	**334,913.08**	**760,650.04**
999	**Investment Control**				
999-000-0000-10100-0000	Cash & Investments	-157,895.01	12,019.44	72,243.05	-218,118.62
999	**Investment Control**	**-157,895.01**	**12,019.44**	**72,243.05**	**-218,118.62**
Asset Total		41,061,394.25	1,509,242.34	1,875,987.56	40,694,649.03

Investments and Bank Certificates of Deposit - City
September 30, 2018

Date to Accrue Interest: 09/30/18

CALLABLE
NC - Non Callable
A - Annually
Q - Quarterly
M - Monthly
S - Semi Annually
C10 - Cont. 10 Day Notice

	Broker/ Bank	FDIC #	CD Number or CUSIP Number	CALLABLE	Date Purchased	Maturity Date	Interest Rate (APY)	Market Value 9/30/2018
Money Markets								
	Northland	N/A	N/A	NC				4.77
								4.77
Municipal Securities								
Oneida Cnty NY Rfdg Pub Impt, Apr & Oct 15	Northland	N/A	6824543R2	S	08/12/10	04/15/19	6.250%	66,235.65
								66,235.65
U.S. Government Agency Securities								
Federal Home Loan Bk	Northland	N/A	3130A8M67	S	07/13/16	07/13/20	1.200%	242,965.00
Federal Farm Credit Bank	US Bank	N/A	3133EGEH4	S	06/13/16	06/13/23	2.020%	188,844.20
Federal Farm Cr Bks Cons Systemwide BDS	Northland	N/A	3133EGJH9	S	07/13/16	01/06/25	2.240%	233,910.00
								665,719.20
Brokered Certificates of Deposit (at Broker Market Value)								
Oriental Bk & TR San Jaun PR	MBS	31469	686184WV0	S	02/26/16	02/19/19	1.350%	220,449.71
Ally Bank Midvale UT	MBS	57803	02006LF65	S	07/07/16	07/08/19	1.050%	242,721.50
State Bk India Chicago, IL	MBS	33682	856283ZK5	S	12/15/15	12/16/19	2.150%	223,357.50
Goldman Sachs Bank, NY	MBS	33124	38148PEB9	S	05/02/16	04/27/21	1.600%	239,382.00
UBS Bk USA Salt Lake City UT	MBS	57565	90348JAR1	M	06/07/16	06/07/21	1.650%	239,816.88
Synchrony Bk Retail	MBS	27314	87165EI73	S	06/29/16	06/29/21	1.550%	235,729.20
JP Morgan Chase Bk NA Columbus OH	MBS	628	48126X7K5	Q	06/30/17	06/30/21	2.000%	238,291.90
Discover Bank Greenwood DE	MBS	5649	254672V39	S	12/07/16	12/07/21	2.100%	239,473.91
Wells Fargo Bk Sious Falls SD	MBS	3511	949763DJ2	M	12/14/16	12/14/21	2.100%	240,922.44
Sallie Mae Bk Salt Lake City UT	MBS	58177	795450ZW8	S	03/22/17	03/22/22	2.350%	238,622.65
BMW Bk North Amer Salt Lake City UT	MBS	35141	05580AHB3	S	03/24/17	03/24/22	2.250%	237,804.35
American Express Centurion Bk	MBS	27471	02587DN38	S	04/05/17	04/05/22	2.450%	237,733.30
American Express Bank, FSB	MBS	35328	02587CEM8	S	05/03/17	05/03/22	2.350%	236,608.75
HSBC Bank USA, NA McLean, VA Sept 11 & Mar 11	MBS	57890	40434ASB6	S	03/11/15	03/11/25	2.250%	197,900.00
								3,268,814.09
PMA								
4M Plus	4M Plus	N/A	Portfolio	NC			1.830%	2,020.19
Savings Deposit Account	SDA	7213	Portfolio	NC			2.000%	1,568,148.31
								1,570,168.50
US Bank TrustNow	US Bank	N/A	Portfolio	NC			1.990%	23,252,631.57
TOTAL INVESTMENTS								28,823,573.78

Meeting Date: October 23, 2018

REQUEST FOR ACTION
ROGERS CITY COUNCIL

Agenda Item: No. 9.2

Subject: Park Board Minutes - September 2018

Prepared By: Mike Bauer Recreation and Facilities Director

ATTACHMENTS:

Description

September 2018 Minutes

1. CALL TO ORDER

The regular meeting of the Park Board of the City of Rogers was called to order by Acting Chair Carlson on Thursday, September 13, 2018 at 5:30 pm at Rogers Public Works, 22350 South Diamond Lake Road, Rogers, MN, 55374.

Roll Call

Dale Fuller	- Park Board Chair	Absent
Paul Hacker	- Park Board Member	
Peggy Warfield	- Park Board Member	
Jennifer Thomas	- Park Board Member	Arrived 5:42 pm
Judi Volkers	- Park Board Member	
Gene Wipf	- Park Board Member	
Brett Carlson	- Park Board Member	
Rick Ihli	- Rogers Mayor	
John Seifert	- Public Works Director	
Mike Bauer	- Recreation and Facilities Director	

2. OPEN FORUM: None.

3. PRESENTATIONS: None.

4. APPROVE AGENDA

Approval of September Meeting Agenda Motion by Volkers, seconded by Warfield. Motion carried 5-0.

5. CONSENT AGENDA

Approval of Consent Agenda Motion by Warfield seconded by Volkers Motion carried 5-0.

5.1 Approval of August 2018 Park Board Minutes

6. GENERAL BUSINESS

6.1 Crow-Hassan Park Reserve Master Planning

- Recreation and Facilities Director Bauer gave the board an update on the planning efforts of Three Rivers Park District (TRPD), and their methods for collecting data. Staff also reviewed the planning efforts and board direction from 2012. In October TRPD staff will be at the October Park Board meeting to discuss planning efforts. Before the end of the year the Park Board will be asked, have an official position on the master plan and the amenities they would like to see at Crow-Hassan Park Reserve. There were questions about the sister park concept, staff explained the concept of having an area that would have more uses that are active and the TRPD policy of limiting parkland usage to 20% of the total acreage to active recreation. The 20% would include trails, parking lots,

tree nurseries, playgrounds, picnic spaces and other active use areas. Amenities that were discussed: Mountain Biking trails, Paved/accessible trails that have touchpoints on the river, better signs to and in the park, trailhead to for Crow River Regional trail into the park. Acting Chair Carlson asked if staff felt that they would add amenities that would be similar Elm Creek Park, staff does not believe that they have seen any indication there would be similar amenities in scale or percentage. There was discussion about the almost exclusive use by horses. The following is a draft list for requested amenities:

- Outdoor Aquatic Element
- River Access
    - Touchpoints to the river
    - Canoe/Kayak rental
    - Developed Recreational Area on the River for Picnics
    - Fishing piers
- Regional Playground-Similar to but smaller scale to Elm Creek Park
- Trail Features
    - CRRT Trail Head with Parking
    - Paved trails in the park that can get to many of the natural features
    - Mountain Biking Trail
    - Groomed Cross Country Trails
    - Snowmobile Trails
- Picnic Area with Shelters
- Campground
- Archery Range
- Historical Info-Graphics of the Park and Area
- Astronomy Programing, Nature Based Programing

6.2 Hennepin County Youth Sports Grant

Staff review the history of the Hennepin County Youth Sports Grant Program. Staff then highlighted the two proposed projects, the RHS Tennis Courts and the Reservoir Fields projects.

Motion to proceed with the grant application for the Reservoir Fields project by Hacker, seconded by Volkers. There was further discussion about why the tennis grant failed in the past, and why we do not go after multiple projects. The consensus is that we will be adding a Public/Private Tennis center to the tennis players in the community. Motion carried 6-0.

6.3 2018 Work Plan

Staff review the 2018 work plan. There was questions about the South Diamond Lake Trail being constructed, the Placement and access to the Tennis Center, a pleasure rink at Triangle Park. The board expressed their frustration about the progress of the Lions Park Building. Staff agreed to facilitate a meeting of the Lions Park Task Force the upcoming weeks. The Board would like to have at one or two summer meetings at parks. The board was complimentary about the hanging baskets and the upkeep of the planting beds. There was discussion about whether the City of Rogers does anything to recognize volunteers.

7. OTHER BUSINESS: None.

8. CORRESPONDENCE AND REPORTS

8.1 Staff Update

Staff submitted an update and reviewed it. There was discussion about spreading out the entertainment so that Rockin Rogers Community Night would be part of the entertainment, and many of the Family Fun Night Activities moved to Night to Unite.

9. ADJOURN

Motion to adjourn 6:43 pm by Wipf, seconded by Volkers. Motion carried 6-0.